

Vistas at White Peak

Planned Area Development

59.74 Acre Parcel

Northwest Corner of Dysart Road
and
Dixileta Drive

Z04-23
(Reference GPA04-15)

December 1, 2004

PLANNED AREA DEVELOPMENT APPROVAL	
P/Z Commission Date	1/6/05
City Council Approval Date	2/1/05
	
Planner	



EXHIBIT E

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Vistas at White Peak PAD Narrative

Introduction

Vistas at White Peak PAD is a 59.74-acre detached single-family residential community that includes private open spaces, and natural open spaces within the context of a common design theme. The Planned Area Development (PAD) zoning closely resembles the City of Peoria R1-7 underlying base zoning district.

The property encompasses 59.74 acres located within the alignments of Dixileta Drive to the south, Dysart Road to the east, Lone Mountain Road $\frac{3}{4}$ miles to the north, and 134th Avenue to the west (see Vicinity Map, Exhibit A). The property is undeveloped desert that is relatively flat with a slight slope from northeast to southwest. The property includes an approximate 4.2-acre natural wash floodplain which meanders along the west side of the property and a 2.3-acre natural wash that runs through the northeast side of the property.

Adjacent properties to the north, east, south, and west are currently undeveloped desert. The adjacent property to the east is part of the Vistancia Master Plan that is planned and zoned for commercial retail, employment, multi-family residential, single-family residential, schools, parks and golf course. The 99.85-acre property adjacent to the north "The Enclave at White Peak" is currently processing General Plan Amendment and PAD zoning applications. Plans for the Enclave call for single-family residential with an R1-7 base zoning district. To the north of the Enclave at White Peak is part of the White Peak Ranch Master Plan that is planned and zoned for commercial retail, employment, multi-family residential, single-family residential, school, park and golf course. The adjacent property to the west is undeveloped desert. The adjacent property to the south is zoned as a residential planned area development (PAD) under the name Boulders at White Peak that includes a combination of single-family residential densities (see Surrounding Developments, Exhibit B). All of the surrounding master plans include the extension of major roads and utilities into the area.

General Plan

A request to amend the General Plan for this property is being filed concurrently with this zoning application. The request is to amend the General Plan land use classification from 0-1 to 2-5 dwelling units for the 59.74-acre parcel (see Existing and Proposed General Plan Exhibits, Exhibit C). This is a Minor Amendment because the parcel is less than 100 acres, it is a one-step change in the residential land use category, and it generates substantially less than 50% percent of the total enrollment of a K-8, middle school, and high school. The amendment to the General Plan will allow residential density designations on the property to be consistent with surrounding developments such as Vistancia, Boulders at White Peak, and Enclave at White Peak. All three

of these projects contain residential densities in the 2-5 units per acre range on parcels adjacent to this site. The adjacent approved general plan and zoning patterns in this area reflect suburban rather than rural lot densities.

The demand for future single-family housing is overwhelmingly in favor of suburban densities close to amenities. This amendment not only reflects development patterns in the area, it also reflects the demand for manageable and affordable size single-family lots. The demand for acre size lots within municipal areas is limited due in part to the spiraling costs of land, infrastructure, utilities, development fees, school contributions, and home construction costs. Costs associated with the purchase and maintenance of large lots competes with interests to spend income on items other than housing.

The amendment allows more detailed planning to provide land use continuity with the planned communities surrounding the site. This companion Planned Area Development (PAD) document provides specific land use, circulation, and natural open space continuity with adjacent projects.

PAD Development Plan

The PAD is currently zoned SR-43. The proposed PAD zoning provides a master planned residential community that encompasses 59.74-acres (see Legal Description, Exhibit J).

Residential Land Uses

The PAD proposes detached single-family residential lots within the context of a common design theme with private retention/park/recreation area, landscaped open space/retention areas, and the conservation of two natural open space wash corridors (see Exhibit D). The residential component includes 189 single-family residential lots. The single-family lots are approximately 7,200 square-feet in size. The overall residential density is 3.2 units per gross acre. The proposed development has 23.8 percent open space and includes a tot lot with Ramada within a turf play area with a path to another turf play area, natural open space which provides links to adjacent neighborhoods, and a landscape open space tract in addition to the right-of-way with a detached pedestrian sidewalk improvements along the north street which justifies increasing the target density of 3.0 to 3.2 units per acre.

The plan creates one residential neighborhood that is externally linked with a collector street, local streets, and a linear natural open space corridor. Two linear natural open space corridors pass through the site along the west and northeast boundaries of the residential neighborhood. These natural open spaces provide links to adjacent neighborhoods to the north, south and east.

The minimum lot width (60'), depth (120'), and lot sizes (7,200 square-feet) are consistent throughout the PAD.

Open Space

The PAD comprises approximately 14.3-acres or 23.8 percent useable open space which is considerably more than required by the City Design Guidelines. A large natural wash provides an open space corridor that runs diagonally along the lower west side of the property. The wash includes a pedestrian trail that is an extension of the planned trail from the Boulders at White Peak project (located adjacent south), through the site to The Enclave at White Peak (located adjacent north). The trail will provide pedestrian access to the pocket park and recreational amenities located on the lower center portion of the neighborhood. The remaining open spaces and retention areas are planned on the balance of the PAD. A 15-foot wide landscape open space tract in addition to the right-of-way with a detached pedestrian sidewalk is planned along the northern street(see Street Cross Sections, Exhibit H).

A pocket park is designed to be contiguous to the large natural open space at the lower center of the PAD. The park includes a playfield, children's playground, shade Ramada, picnic table, barbecue grill, and turf area for passive recreation activities (see Pocket Park, Exhibit E). The natural open spaces, retention areas, landscape tracts, and pocket park will be owned and maintained by a homeowners' association.

Single-Family Development Standards

The PAD allows the: permitted uses defined under Article 14-5 with the addition of private recreation facilities associated with common open spaces constructed for the use and enjoyment of residents within the PAD; permitted conditional uses under Article 14-5 with the exception of day care group homes, group care facilities, and community residential setting facilities which are not permitted; and permitted accessory uses under Article 14-5 of the Zoning Ordinance. Accessory Building development standards shall be subject to the provisions under Article 14-5 of the Zoning Ordinance. The property development standards are in accordance with the following Development Standards Table:

Vistas at White Peak Development Standards

Parcel #	R1-7 District	PAD
Description	Ordinance Requirements w/o PAD	Residential Lots **
Min Area	7,000 square-feet	7,200 square-feet
Min Width	70-feet	60-feet
Min Depth	100-feet	120-feet
Front	20-feet	15' for Living Area or Side Load Garage 18' for Front Load Garage ***
Side	5-feet/10-feet	5-feet/8-feet*
Street Side	10-feet	5-feet to lot line with additional 8-foot landscape tract for total of 13-feet
Rear	15-feet	15-feet
Lot Coverage	45 percent	45 percent
Bldg Height	30-feet measured to peak	30-feet measured to peak

* Fireplaces, bay windows, pop-outs for entertainment centers may encroach 2-feet into side yard with a maximum width of 10-feet per feature with no more than two features per facade.

** Note: Upon engineering of the subdivisions in the PAD, some lots in the PAD may be less than the minimum areas, widths and depths identified in the Development Standards Table, however in no case will lot area, width or depth be less than 98% of the PAD standard on more than 5% of the lots.

*** Side loaded garages shall include a faux window or other architectural treatment on the street side of the garage that architecturally gives the appearance of a living area rather than a garage.

Note: Accessory buildings are subject to Section 14-5-8 (Property Development Standards for Accessory Buildings).

The following are design standards that are changed from the equivalent base-zoning district:

- The R1-7 base district requires minimum 70-foot lot width and 100-foot lot depth with minimum 7,000 square feet in area. The PAD proposes 60-foot width, 120-foot depth, and 7,200 square feet in area. The lot width is reduced to lower the per linear foot cost of infrastructure improvements that run along the front of the lot (street paving, curb & gutter, sidewalk, water line, sewer line, underground electric, telephone, and cable TV). The lot is then made deeper to allow for increased front and rear yard areas. Past development experience shows that people spend most of their outdoor free time in the back yard (swing sets, pools, BBQ, table, patio, volley ball, horseshoes, etc.) Lot depth has more value to the homebuyer than lot width in terms of actual cost per square foot and practical use.
- The R1-7 requires 5'/10' side yards where the PAD proposes 5'/8'. The additional two feet allows a larger house footprint, which gives more flexibility in floor plan layouts. The average homebuyer can see the difference in the internal floor plan but does not see the difference between 15-feet and 13-feet between houses. The shift in the two feet is valued added to the homebuyer, but does not impact safety or useable open space.
- The R1-7 requires a 10' street side yard where the PAD proposes a 5' street side yard setback to the lot line with the additional 8' of landscape tract for a total of 13'. This is consistent with recent revisions to the Zoning Ordinance to add landscape tracts along corner lots. The proposed setback does not conflict with the 8' PUE sometimes needed along the street side yards of these corner lots.

Single-Family Design Guidelines

The following design guidelines apply to all single-family homes including principal and accessory structures. All subdivisions and house products shall be subject to approval in accordance with the following design guidelines. The guidelines are separated into three categories: Architectural Design, Plat/Lot Design and Landscape/Perimeter Wall Design.

Architectural Design

The proposed homes may include one and two-story plans that exhibit high quality materials and architectural features.

Each home shall include the following:

1. Stucco or block exterior with optional stone, brick or wood accents.

2. Optional covered rear patio designed to match the home.
3. Ground mounted Air Conditioning and Heating unit.
4. Concrete tile roof.
5. Accents and window treatments.
6. Two-car garage with three-car garage option when the third car is in tandem for front loaded garages, or side by side as part of a side loaded garage design.
7. Painted stucco or decorative block return walls to match the houses.
8. Dual pane windows. Window frames and mullions finished with either baked enamel paint or anodized.
9. Roof vents, flashing, pipes shall be painted to match roof tile color.
10. Exterior light fixture at front entrance door. Enhanced exterior light fixtures on garage doors as an option.
11. Metal flashing, vents, pipes, electrical panels and other exposed metal on elevations shall be painted to match the color of the house.
12. Boxed fireplace chimneys to avoid exposed metal flumes if buyers include a fireplace as an option, or if the owner adds a fireplace later.
13. The garages will be a minimum of 20' x 20', free of obstructions.
14. Two parking spaces in driveways outside of the garage.
15. Second story balconies shall be a minimum of fifteen (15) feet from any property line.
16. The use of reflective surfaces, except windows, shall be prohibited.
17. Roof mounted equipment, except solar panels and related equipment, shall be prohibited.
18. All utilities and ground mounted mechanical equipment shall be fully screened from view and shall meet the PAD setbacks.
19. Accessory structures 6-feet or more in height and/or 120 square-feet or more in area shall utilize like colors, materials and architectural style as the principal structure.
20. Additions to principal and accessory structures shall utilize like colors, materials, and architectural style as the principal structure and shall conform to existing rooflines.
21. Each subdivision shall provide choices of roof colors and roof material types.

22. Each subdivision shall provide choices of exterior accent materials such as, brick, stone, or masonry.
23. The subdivision shall provide a minimum of 4 different architectural elevations.
24. Roof lines may vary from homes on adjacent lots and directly across the street
25. House products may include side-entry garages, or L-shaped floor plans.

Plat / Lot Design

26. All public local residential streets in excess of 900-feet in length shall be curvilinear in design with a minimum radius of 150-feet and a minimum curve length equal to one-half of the radius. Private streets may be developed within the PAD, at the developer's discretion, with standards as approved by engineering department.
27. When a cul-de-sac abuts a useable open space area, the potential for a landscaped access tract shall be reviewed during the preliminary plat process.
28. Plats should be designed to integrate and/or continue existing or approved open space areas adjacent to developed areas.
29. Useable Open Space shall be clearly designated on each preliminary and final development plan. Areas that may be included in the calculation of open space shall include: landscaped retention area; private-park and recreation area; landscape tracts, washes, and natural area open spaces.
30. Useable Open Space shall not include any of the following:
Dedicated streets, alleys, vehicular drives, parking, loading and storage areas; required setback areas except where tracts are delineated; reservation of public park and school sites for which the City or school district shall be required to purchase; areas reserved for the exclusive use or benefit of an individual owner or tenant; or concrete areas designed primarily for the conveyance of water.
31. Dedication Statement on final plat shall include provision dedicating all open space and retention areas as tracts, providing for the maintenance of such areas and adjacent right-of-way by an established home owners association, and precluding such areas from future development.
32. Rights-of-way and retention areas shall be improved with landscaping as required by the City of Peoria Zoning Ordinance.
33. Entry features including decorative entry signage and landscaping with stamped concrete or specialty pavers shall be required for the main entrance (See Entry Feature, Exhibit G).

Landscape and Design

There is an integrated landscaping and wall theme for the PAD. The Conceptual Landscape Exhibit establishes the landscape theme (see Landscape Plan, Exhibit F). Plant materials shall be selected from the final plant palette approved by the City. Accent materials shall be low water use plants known for form, color, and visual texture. Trees will be clustered where appropriate. The placement of trees and shrubs will be staggered to provide depth along the northern landscape tract. The landscape plan has been designed in conjunction with the Master Drainage Exhibit for the property.

The PAD plan will provide: 6-foot high decorative theme wall along the northern street or gradient. The decorative walls at the entrances into the neighborhood will be a minimum of 6-feet high. Minimum 6-foot high decorative view walls are planned along internal open spaces next to residential lots. The design of the 6-foot high theme wall incorporate single-scored smooth face block with integrated split face block accent (see Wall Elevations, Exhibit G). The 6' high view walls include a single-scored smooth block base with a wrought iron top. The entry signage will incorporate split face block in granite tile with etched letters on a smooth background. Landscaping at the entrance will be desert trees and vegetation with small boulders.

Specific plant quantities for the plat(s) shall be provided in accordance with Article 14-35 (Landscape Requirements). When plat(s) come in, the required landscaping will include (a) street frontage, including an 8-foot tract along corner side lot lines adjacent to local streets; and (b) retention and useable open space areas.

Circulation

The White Peak Ranch to the north identifies the development of Lone Mountain Road north of the subject PAD. The Vistancia development to the east plans the development of Dynamite Road to the south of the proposed PAD. The Peoria Utilities and Engineering Department is working with Maricopa County and the City of Surprise to formulate the road network in this area (Loop 303 to Vistancia). Until the road network is defined exact street connections and cross sections are not known. This will be resolved at the Preliminary Plat stage.

Grading and Drainage

The property slopes from northwest to southeast. The plan includes a natural wash that will carry storm water runoff through the property. All on-site drainage is accommodated by a series of open space/retention/detention areas designed adjacent to the natural wash open spaces. Drainage is designed to accommodate a 100-year, two hours storm event. (see Master Drainage, Exhibit H).

Public Utilities and Services

- Sewer service to the site will be provided by the City of Peoria. At present there is no wastewater treatment capacity available to serve this development. Depending on the timing of this development, it may be necessary for the developer to directly participate in the expansion of the Jomax Water Reclamation Facility.

The site lies within the drainage planning area of the Jomax Wastewater Reclamation Facility in Section 35, at Beardsley Canal and Jomax Road. Facility construction is completed for the initial phase of development for the master planned community of Vistancia. A line extension from the wastewater facility to the Vistas at White Peak will be required. The exact location, line size, and depth will need to be determined.

The wastewater infrastructure shall be sized in conformance with the parameters outlined in Table 10-1 from the Wastewater Master Plan dated July 30, 2002.

Water and Sewer easements between lots will not be permitted. These facilities shall be located within a dedicated roadway.

- Water service to the site will be provided by the City of Peoria. The site lies within the Future Twin Buttes Water Treatment service area. At present there is no developed water supply to serve this development. Depending on the timing of this development, it may be necessary for the developer to construct groundwater wells or directly participate in the construction of a surface water treatment plant.

Ultimately, a waterline constructed with the 135th Avenue alignment, connecting into waterlines at Lone Mountain Road and Dixileta Drive can provide two sources of water for the project. Initial water service will be possible by connecting into existing City water lines within the Vistancia community and/or the use of well, storage and pumping facilities. The actual facilities, exact locations, and line sizes will need to be determined.

Water and Sewer easements between lots will not be permitted. These facilities shall be located within a dedicated roadway.

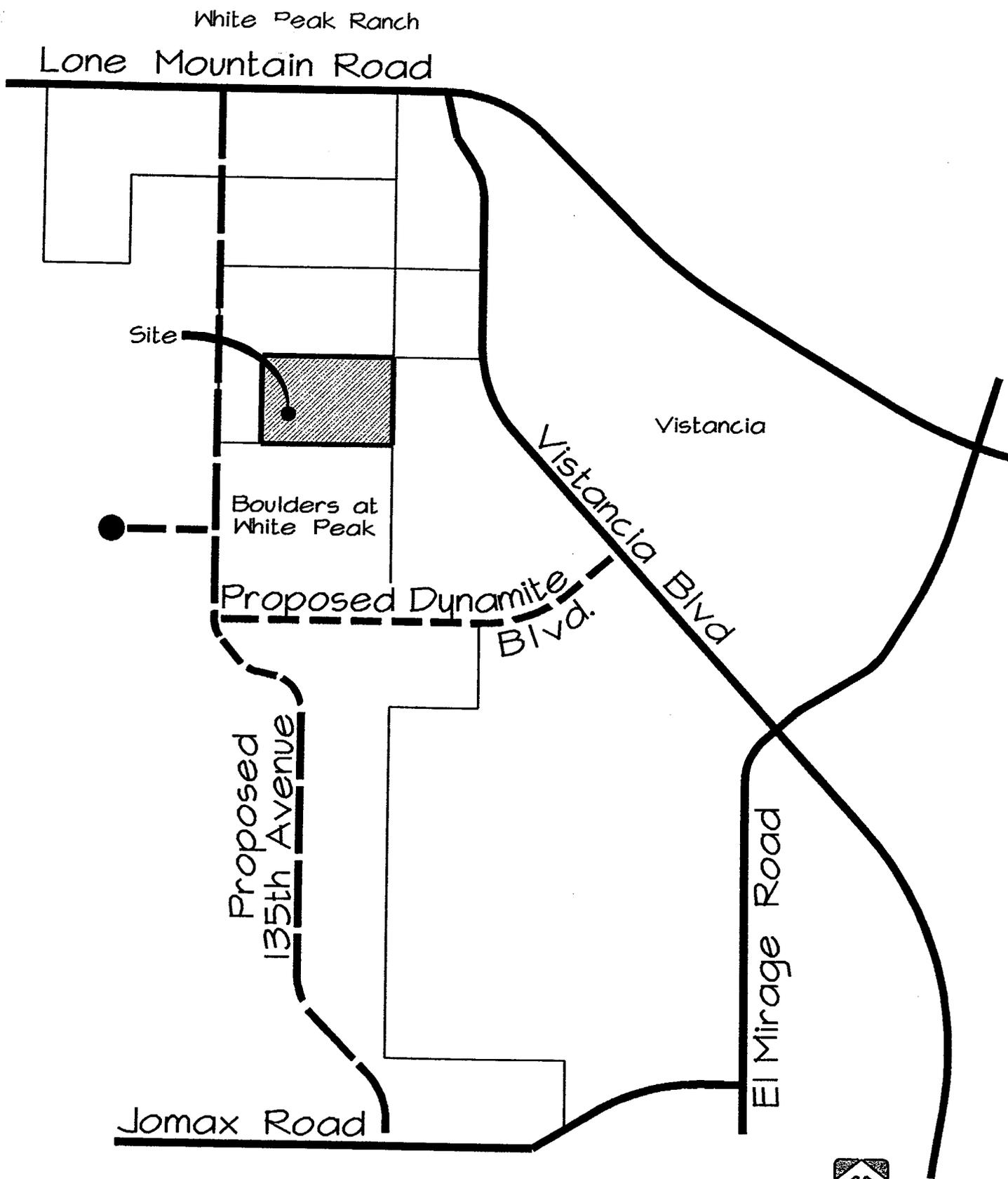
- Southwest Gas will provide natural gas to the site. Extension of service will be fed from the Vistancia development located east of the site.
- Arizona Public Service will provide electricity to the site. The nearest facilities will be within the Vistancia community.
- Accipiter will provide telephone service to the site.
- Cox Communications will provide cable television to the site.
- Refuse collection will be provided by the City of Peoria.

- The City of Peoria will provide Law Enforcement services, emergency, and fire protection services. The closest police substation and fire station will be within the Vistancia community.
- District No. 11 of the Peoria Unified School District will provide educational facilities and services for Vistas at White Peak.

Phasing

The PAD will be developed in one phase as determined by market demand. The necessary road, water, sewer, on-site and off-site storm water retention will be constructed as needed for the development. The timing of development will depend on the timing of adjacent master plan community infrastructure improvements to the south, north, or east. It is not possible to determine the timing will be without knowing the exact timing of improvements for the adjacent master plans.

Index/Xander/Dixileta/PAD Narrative.doc

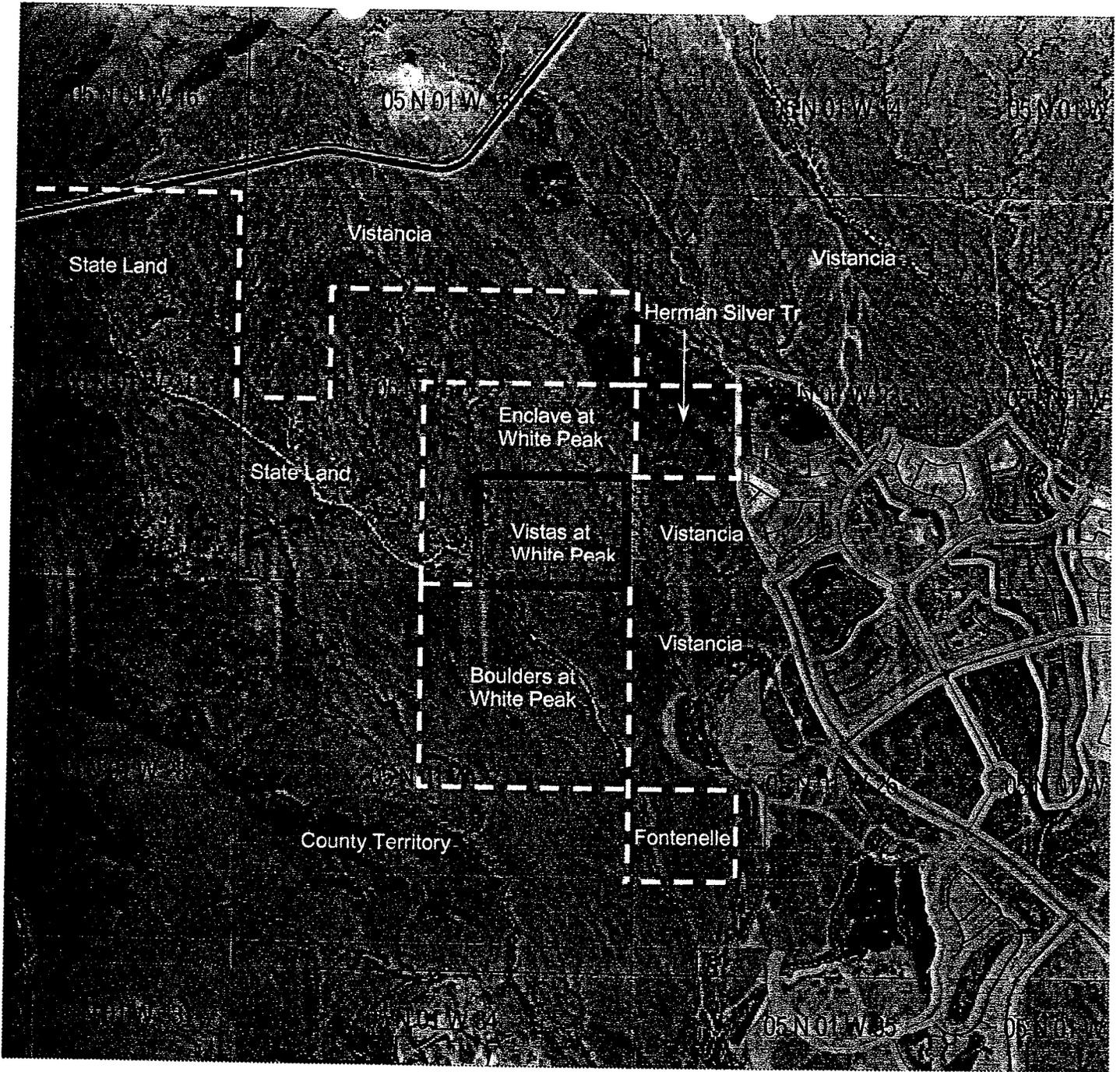


135th Avenue & Dynamite Boulevard

Vicinity Map

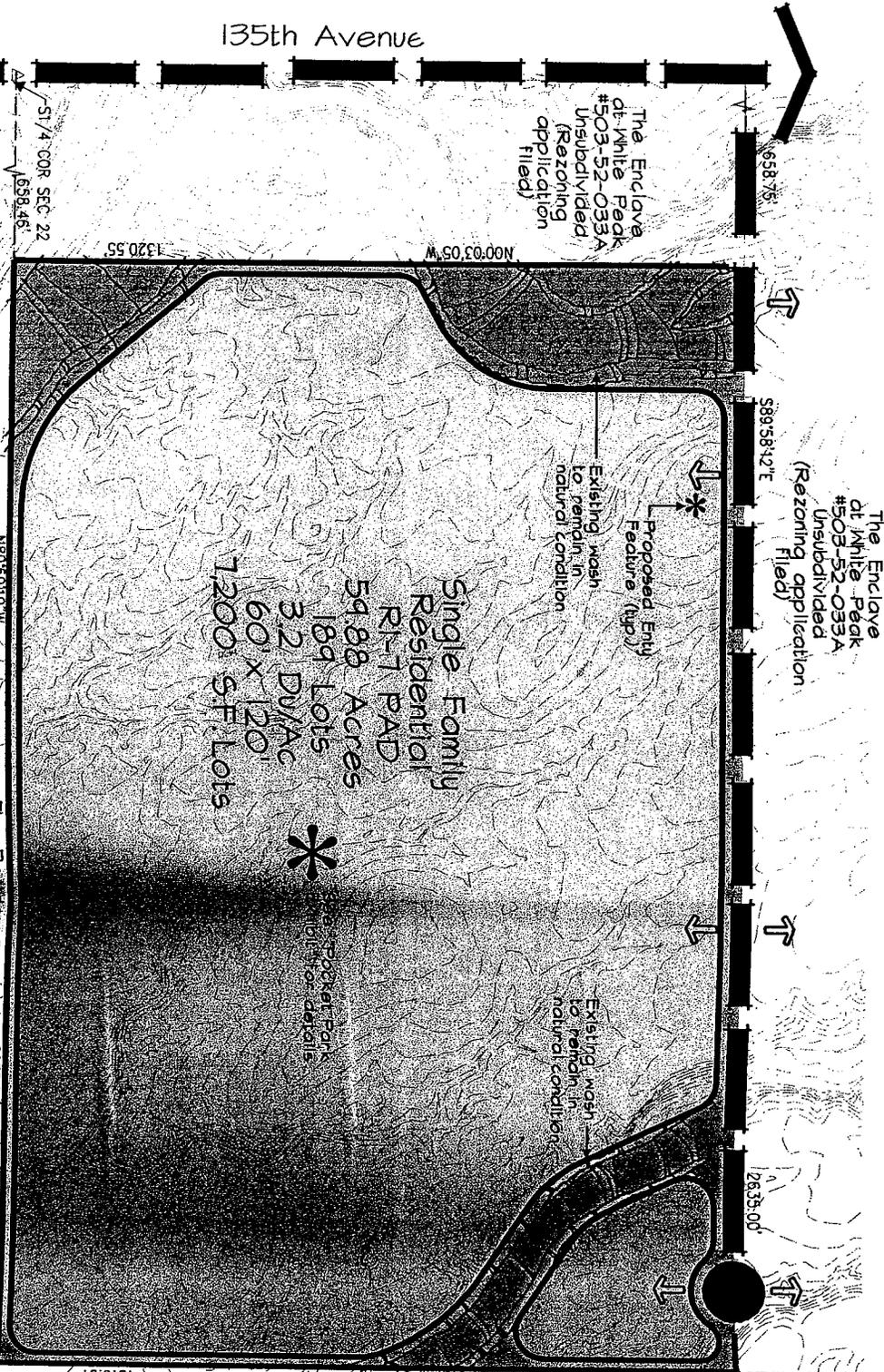


Job #04.09
Date: 04.29.04



Developments Adjacent to the Vistas at White Peak Project

Vistas at White Peak PAD Development Plan



The Enclave at White Peak #503-52-033A Unsubdivided (Rezoning application filed)

The Enclave at White Peak #503-52-033A Unsubdivided (Rezoning application filed)

Single Family Residential R1-T PAD
59.88 Acres
189 Lots
3.2 DU/AC
60' x 120'
1200 S.F. Lots

Special Pocket Park
Site for details

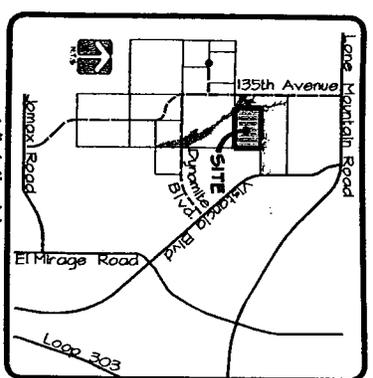
Proposed Entry Feature (typ.)
Existing wash to remain in natural condition

Existing wash to remain in natural condition

The Bowers at White Peak #503-52-035 Unsubdivided

Hemmon S Silver Trust #503-04-001D Unsubdivided

Vistancia PAD
Medium Density Residential
3.3-4.5 du/ac.



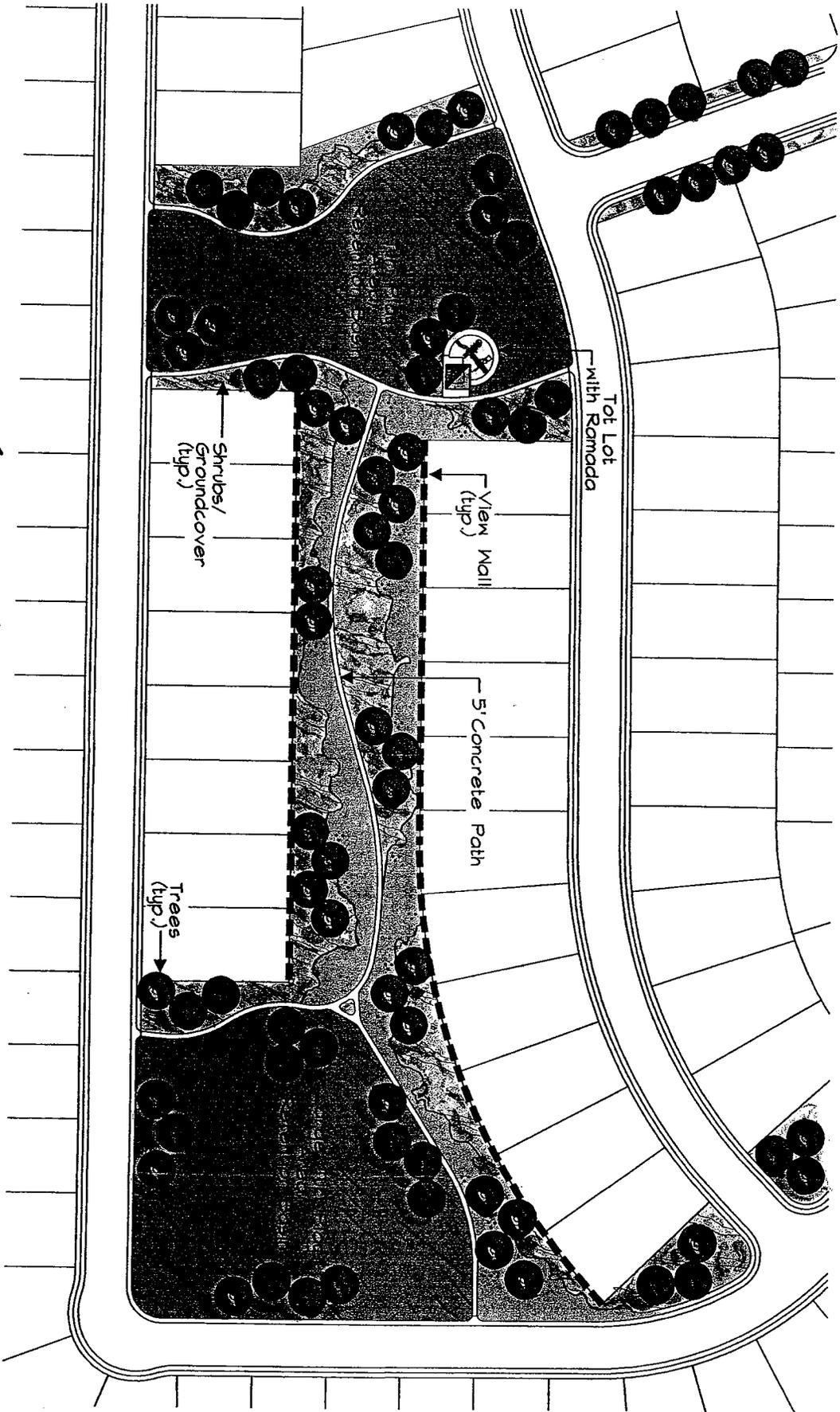
Site Data:
Gross Area: 59.88 Acres
Min. Lot Size: 60' x 120'
Yield: 189 Lots
Density: 3.2 DU/AC

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Vistas at White Peak

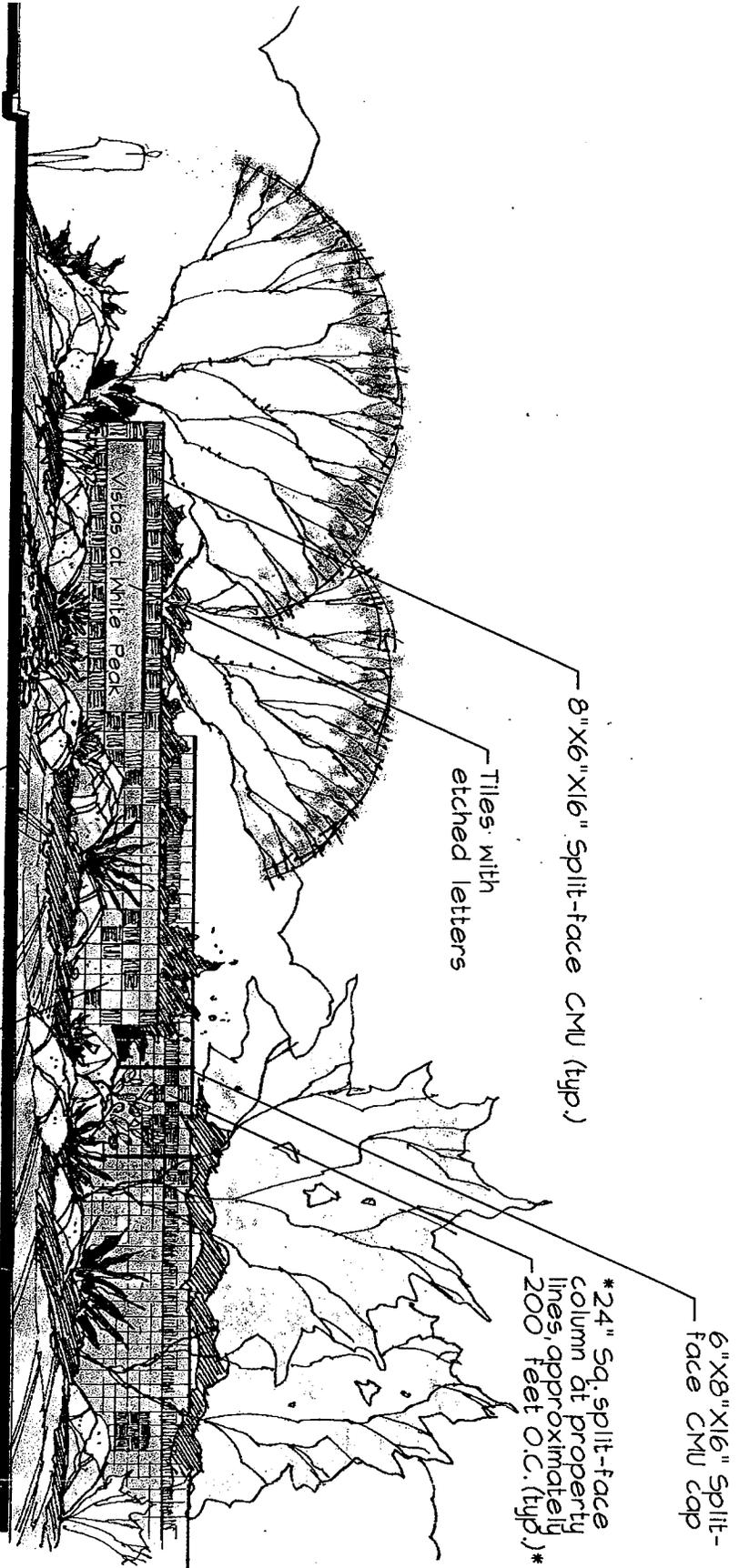
Pocket Park Exhibit



Notes:
 Exhibit is conceptual
 only and subject to
 revision at final design.



Job #04.04
 Date: 08.10.04



Actual spacing to be adjusted to locate the column at a property line corner

Walls adjacent to arterial streets to be 8' high and 6" width.

Vistas at White Peak

Conceptual Subdivision Entry Feature & Theme Wall Elevation

Note:
Exhibit is conceptual only and subject to revision at final design.

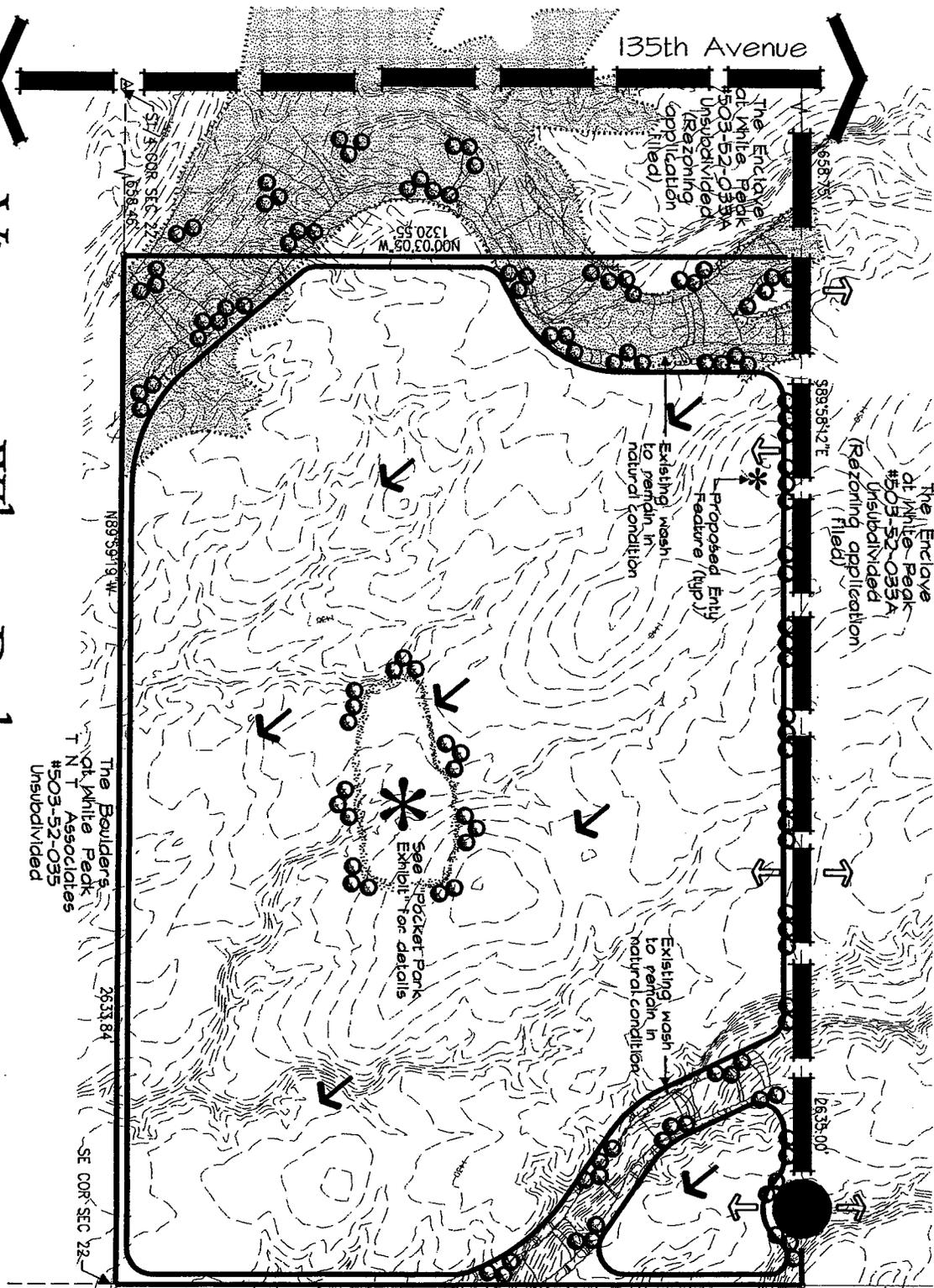
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N.T.S.

Vistas at White Peak

Master Drainage Exhibit



Legend:

-  Flood Plain Area
-  Drainage Flow Arrow
-  Existing Contour
-  Existing Washes to Remain in Natural Condition
-  Proposed Retention Areas
-  Road Wash Crossing

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