



Querencia

P. A. D. Development Guidelines & Report

City of Peoria Case No. Z 05-08

January 2006 ♦ CMX Project No. 7073

Querencia

"That very special place you call Home"

PAD Development Guidelines and Report

One-quarter mile south of the SEC Jomax Road and
Lake Pleasant Parkway

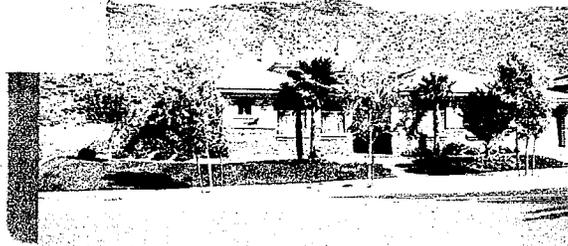
**PLANNED AREA DEVELOPMENT
APPROVAL**

P/Z Commission Date *Oct 26 '06*

City Council Approval Date *Jan 17 '06*

[Signature]

Planner

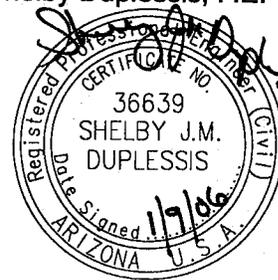


April 2005

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Querencia

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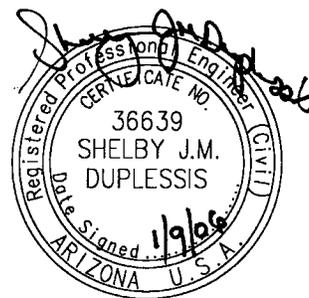


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Querencia

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Narrative

1.0 Introduction

1.1 Project Description

Querencia (the Project) is a 44-acre site that runs parallel to Lake Pleasant Parkway on the west, and is located one-quarter mile north of Jomax Road and one-half mile south of Happy Valley Road. Refer to Figure 1, the Regional Vicinity Map for more details. There are currently no improvements on the Project and the natural topography includes a combination of landforms that range from Desert Floor, Bajada, and Hillside. Refer to Figure 2 for the Existing Conditions Plan.

The concept and theme of the design are based on the definition of the name chosen for the development "Querencia". When translated, *Querencia* means; *"that very special place you call home."* The theme is enhanced by the natural setting of the land that is the foundation upon which the character of the neighborhood has been established. Querencia is a proposed private gated community that will feature a variety of custom-built homes. The development consists of 54 single-family residential lots averaging an area of 12,000 square feet. The proposed density is 1.3 dwelling units per acre (du/ac). The unique character of the development is achieved by integrating the design of the gated enclave into the topography and offering a series of unique custom home designs that will compliment a range of lifestyles. The developer, his team of craftsmen, engineers and designers are committed to creating a high quality, safe, sustainable neighborhood for the residents of the City of Peoria. Desert Cove Homes has forged an uncompromising ethic of listening to the needs of the homeowners and creating "that very special place you call home". The parcel configuration is shown in Figure 3.

1.2 Request for Planned Area Development (PAD)

Currently, the zoning for Querencia is SR-43 per the City of Peoria (City) Zoning Map. The purpose of this application is to request a Planned Area Development (PAD) with an R1-12 underlying zone. The Planned Area Development report is intended to provide a comprehensive plan, which is consistent with all the City of Peoria policies and regulations in accordance with the General Plan as outlined in Figure 4.

2.0 Legal Description

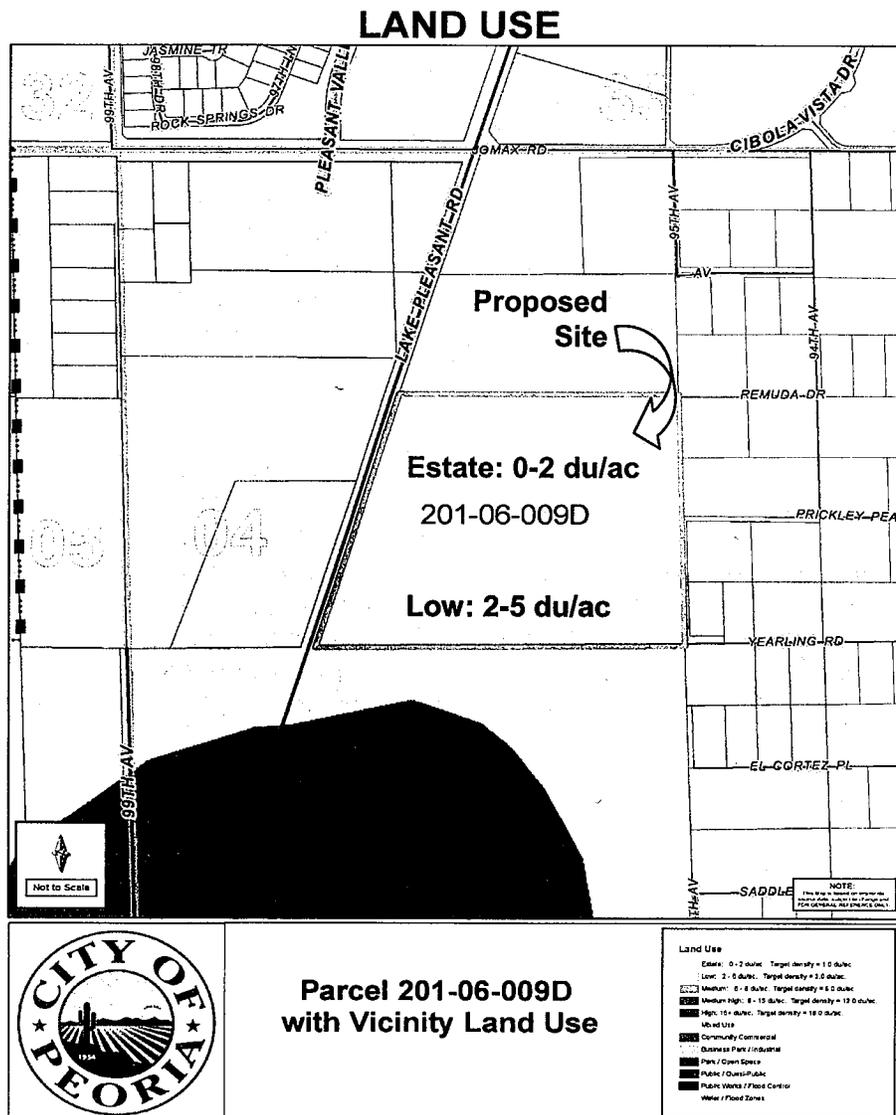
Per the A.L.T.A. survey included in Appendix A of this report, the following legal description applies to this parcel. That portion of the South Half of the Northwest Quarter of Section 4, lying Easterly of the East rights-of-way line of Lake Pleasant Parkway as established by Book 2 of Maps, Page 43A, Maricopa County Records: and that part of Lot 4 lying Easterly of the East Rights-of way line of Lake Pleasant Parkway and established by Book 2 of Maps, Page 43A, Maricopa County Records, Township 4 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

3.0 Consistency with General Plan

No amendment to the City of Peoria General Plan dated January 2001, will be required for this site. Figure 4 is a reproduction of the City of Peoria Land Use Map and it designates the Project as being separated into the following two (2) land use categories:

Land Use Category City of Peoria General Plan 2001	Designated Density dwelling units per acre (du/ac)
Estate	0.0 -2.0 du/ac
Low Density	2.0 -5.0 du/ac

As outlined in the illustration below, approximately two-thirds (2/3) of the project is located in the Estate Zone and one-third (1/3) of the site is located in the Low Density Residential Zone. Querencia is proposing a density of 1.3 dwelling units per acre.



The proposed development is located mostly within the Residential "Estate" land use designation with a target density of 1.0 dwelling unit per acre. Pursuant to the Peoria General Plan, the target density may be exceeded should the development substantially exhibit the following elements:

- Efficient and appropriate use of the development site;
- Variation in product type, location and lot sizes;
- Incorporation of additional amounts of open space;
- Incorporation of developed recreational amenities;
- Integration of plans to retain, replace or salvage native desert vegetation; and
- Mitigation of potential development related impacts;

As part of the commitment to preserving and enhancing the unique natural quality of the site, Querencia has been designed with a vast sensitivity to the surrounding environment. Efficient and appropriate use of the development site has been accomplished by clustering custom lots that blend with the changing topography and preserve the hilltop knolls. In addition, a series of private trails have been established that lead flawlessly through the preserved Natural Open spaces (NOS) into the amenity areas. The visual qualities provided by the varieties of native Sonoran desert vegetation further enhance the natural beauty of the community. Plans have already been formulated to retain, replace and salvage the native desert vegetation and preserve the natural open spaces (NOS). Potential development impacts have been eliminated by mitigating the two land use categories separating the property and proposing a combined density of 1.3 dwelling units per acre. The Querencia development substantially exhibits the elements outlined above and justifies the proposed density of 1.3 dwelling units per acre.

4.0 Existing Conditions

4.1 Existing Topography

The slope of the site is varied (Refer to Figure 2, Existing Conditions Plan and Figure 12, Slope Analysis for more details). The storm water from the site generally drains in a southwesterly direction. There are two hillside areas within the site. With minor exceptions, the development of the Project avoids the steeper slopes. Some disturbance of the lesser slopes is included in the development design. The engineering adheres to the Hillside Development Overlay District (Article 14-22A) and is further discussed in section 11 of this report. Refer to figure 3 for more details.

4.2 Existing Jurisdictional Wash

A jurisdictional wash is located in the southeast corner of the Project. Development within this jurisdictional wash has been avoided. Refer to Appendix B for a copy of the letter to the Army Corps of Engineers, their approval letters of the delineation and the approved delineation map.

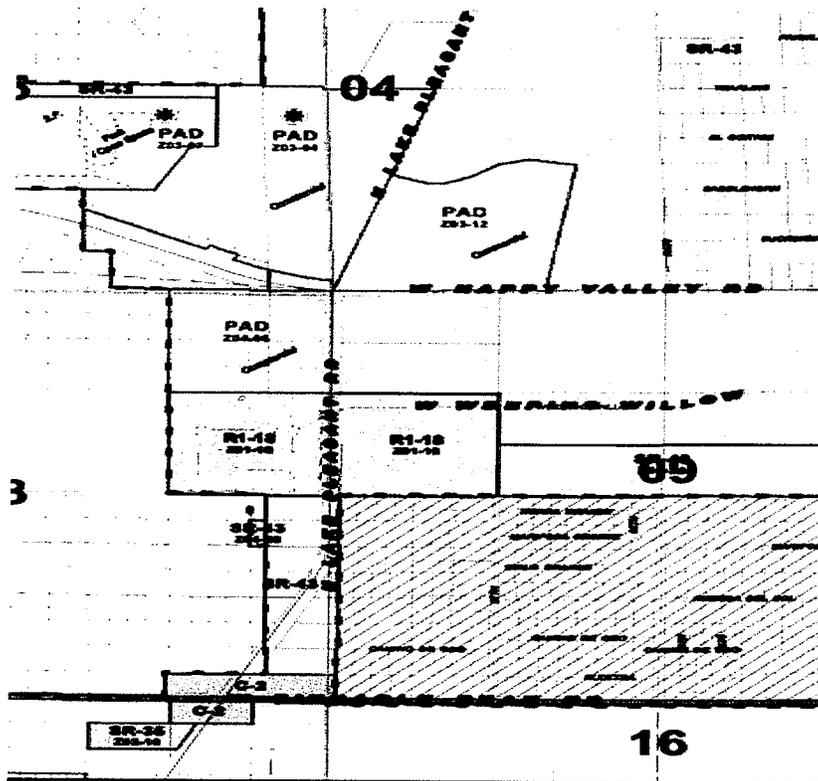
4.3 Archeological Study

Soil Systems, Inc. (SSI) has completed a Cultural Resources Survey dated July 2004 for Querencia and will be submitted under separate cover with the DLCO Report. Refer to Appendix G for a copy of the Progress Report Clearance Letter dated March 31, 2005.

5.0 Surrounding Land Uses and Conditions

The Querencia Project is currently surrounded on the north, south and west by vacant, undeveloped land. Figure 5, the surrounding Land Use Plan, shows the two existing residential homes that are located to the east, at the southeast corner of the Project. According to the Maricopa County assessor's data, the first parcel is number 201-06-033E, which is a lot approximately 1.1 acres in size and is owned by Virginia and Scott Person and the second lot is number 201-06-033D, approximately 1.2 acres in size and is owned by Richard Cook. There are also homes in the following parcels located northeast of Querencia; the first parcel is number 201-06-024F owned by Anita and Sam Field and the second parcel is number 201-06-046A owned by Bryce Putnam.

Just to the north of Project, a pre-plat has recently been approved. Red Hawk Engineering has designed a single family residential subdivision named La Strada Del Lago directly adjacent to Querencia. As designated in the Lake Pleasant Parkway Corridor Land Use Plan, other approved major developments in the area include West



Map current as of February 5, 20

Wing Mountain, Sunrise Canyon and Calderwood Butte.

As illustrated in the following City of Peoria Zoning Map # 6-B, there are currently three (3) PAD zoning cases that have been submitted to the City of Peoria that are in the vicinity of the proposed Querencia site. Two (2) of the sites are located southwest of the Property and the other is located to the south.

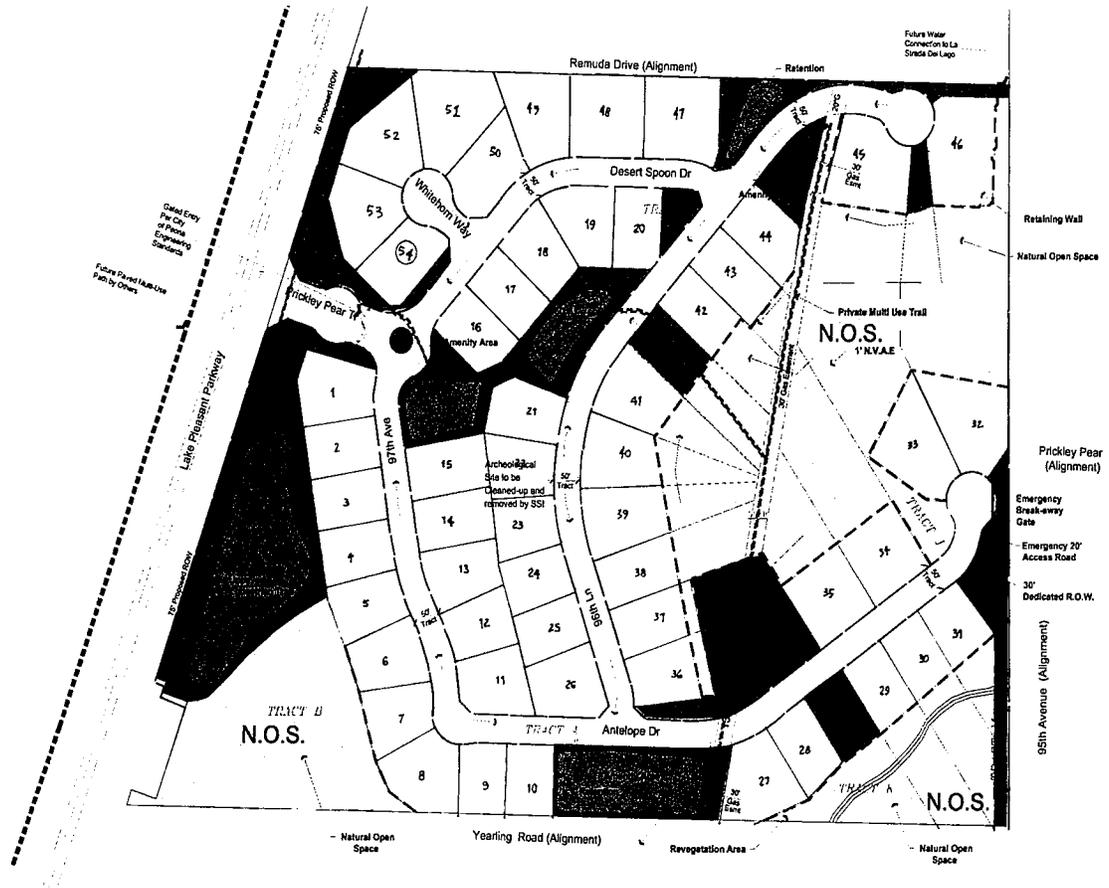
Refer to Figure 5 for more details on the surrounding land uses.

6.0 Preliminary Development Plan

6.1 Development Plan

Currently there are no improvements on the land. As illustrated below, the development incorporates the natural topography of the land into the design creating the unique character of the Querencia community. The Preliminary Development Plan, Figure 3, further demonstrates that the proposed gated community will consist of 54 single-family detached custom-built homes that blend both visually and physically into the surrounding neighborhood.

Querencia will improve the surrounding infrastructure related to the Project and provide lots for custom homes that will enhance the property values in the area. The Project is proud to have preserved the hillside area and the open space provided exceeds the minimum standards required by the City of Peoria. Amenities, such as trails and seating areas that are appropriate for a custom home, gated community, will be provided within the pocket parks. Refer to Figure 7 for Enlarged Park details.



6.2 Circulation

The road circulation for the Project is discussed in the TASK Engineering Traffic Impact Study dated March 29, 2005. In general, Lake Pleasant Parkway runs parallel to the west boundary of the project. In the City Specific Area Plan, Lake Pleasant Parkway is planned as a six lane divided median parkway. Per the recommendation of Dave Moody and City Engineering, access to the Project is via one right-in, right-out gated entry connecting to Lake Pleasant Parkway. Interior streets are private. An emergency access route is provided to the 95th Avenue Alignment via a break-away gate connecting to a 20-foot road. In addition, per the requirement of the Lake Pleasant Parkway Corridor Specific Area Plan, a 30-foot scenic corridor easement has been provided parallel to Lake Pleasant Parkway. The Querencia development team is dedicated to preserving and enhancing the existing environmental qualities of the Corridor. Refer to Figure 8 for the Typical Street Cross Sections.

6.3 Maintenance

The Querencia Homeowners Association will be responsible for the maintenance of community open space and landscaped areas.

6.4 Applicable Zoning Ordinance

The City of Peoria Zoning Ordinance, updated on February 7, 2005, is the applicable ordinance that is referenced in this narrative report.

7.0 Permitted Principal Uses

One single-family detached dwelling unit per lot.

Other Permitted Principal Uses shall conform to the standards set forth in Article 14-5 of the City of Peoria Zoning Ordinance.

8.0 Conditional Uses

The Conditional Uses shall conform to the standards set forth in Article 14-5-3 and Article 14-5-7 of the City of Peoria Zoning Ordinance.

9.0 Project Development Standards

9.1 Table 1: R1-12 Zoning / PAD Standard

Existing Development Standards		Project Standard
R1-12 Zoning Dist	Standard	Proposed
	Standard, Article 14-5-6	
Minimum Lot Area	12,000 SF	same
Minimum Lot Width	70'	same
Minimum Lot Depth	100'	same
Maximum Lot Coverage	35% Standard	*Typically 45% or as prohibited on the Approved Building Envelope Disturbed Area exhibit for "Hillside Lots"
Maximum Building Height	28' natural grade Hillside Dev. Overlay District Article 14-22A	30'
Front Setback	20'	same
Interior (total/minimum) Setback	15' / 5'	same
Rear Setback	15'	same
Corner Setback	10'	same

* Slope Analysis including Development Table will be submitted for approval along with the Preliminary Plat Application. The maximum percentage of Lot Coverage shall be determined based on the approved slope analysis. The slope analysis shall include but is not limited to, the Development Table that delineates the Maximum Disturbed Area, adjusted density, and total acreage being transferred to the development bank shall be submitted for approval with the Preliminary Plat applications.

9.2 Lot Coverage

Per Article 14-2, Peoria Zoning Ordinance; Lot Coverage means the part or percentage of a lot occupied by a principal (and) or accessory buildings.

9.3 Setbacks

The minimum front building setback shall be 20' to the face of a front-facing garage. Side yard setbacks shall be five feet (5') minimum on one side, ten feet (10') on the

other side for a total of fifteen feet (15'). Street side setbacks shall be a minimum of ten feet (10'). Rear yard setbacks shall be a minimum of fifteen feet (15'). The perimeter landscape setback along Lake Pleasant Parkway shall be a minimum of thirty feet (30') as required by the Lake Pleasant Parkway Corridor Specific plan and in the City of Peoria General Plan.

9.4 Minimum Lot Size

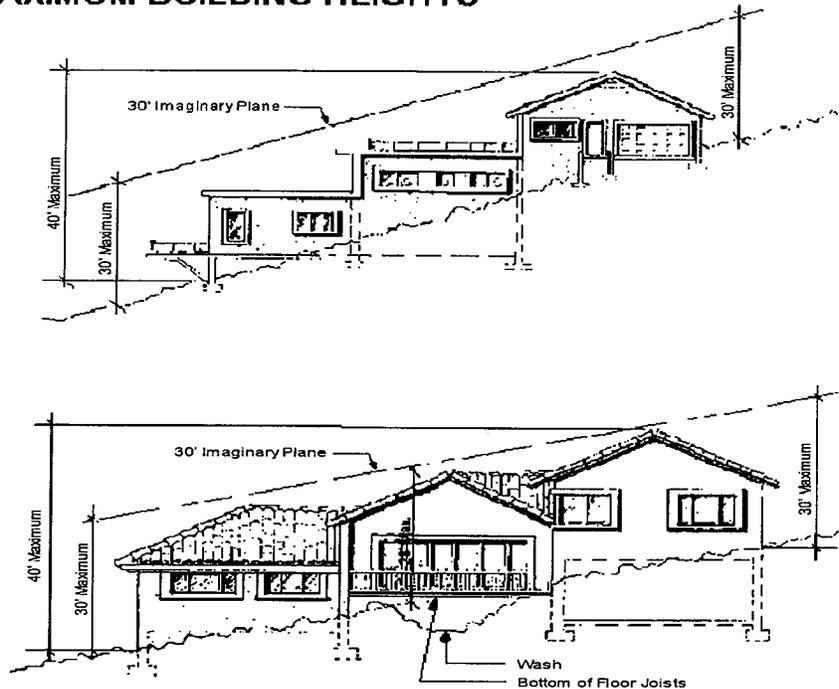
The minimum lot size shall be 12,000 square feet, minimum width seventy feet (70') and a minimum depth one hundred feet 100'. On the average the typical lot size is 15,223 square feet.

9.5 Building Heights

The illustration below reflects the proposed height limitation standards. The PAD shall be modified to include both one and two-story homes up to thirty feet (30') in height; the standard height is twenty eight feet (28').

Note: An Exception to Article 14-3-D shall apply to the Querencia PAD

MAXIMUM BUILDING HEIGHTS



9.6 Accessory Uses

Accessory Buildings and Uses shall conform to the standards set forth in Article 14-3-3, Article 14-5-4 and Article 14-5-8 of the City of Peoria Zoning Ordinance.

9.7 Open Space Requirements

The minimum useable open space required for a single-family development with lots between 10,000 and 18,000 square feet in size is 9% of the gross project area for a PAD, according to the City of Peoria PAD Article 14-33-2J (Ord. No. 96-99). The minimum useable open space, according to the City of Peoria, Residential Design Qualitative Guidelines, Section 20-70-12 for lots of 10,000 to 18,000 square feet is 7%.

The Querencia community total open space exceeds both of these City of Peoria requirements. The Project is anticipated to contain roughly 4.8 acres or 10.7% useable open space. Useable open space will include private recreation areas, floodway areas and improved retention basins. Retention basins that meet the amenity requirements of the Residential Design Qualitative Guidelines Section 20-70-12C and D shall be calculated toward the useable open space calculations. Refer to Figure 6, Open Space Plan for more details.

As specified in The City of Peoria Trails Master Plan dated December 29, 1998, a public equestrian trail will be dedicated along the Querencia west property boundary, running parallel to Lake Pleasant Parkway. An interior private multi-use trail will also be included within the gated community. The private trail will link the proposed neighborhood amenity areas to the preserved Natural Open Spaces located within the subdivision. Refer to Figures 6 and 7 for more details. The useable open spaces will be clearly designated on the preliminary and final development plans.

9.8 Natural Open Space

ARTICLE 14-22B DESERT LANDS CONSERVATION OVERLAY

NOS SLOPE/LANDFORM MATRIX			
LANDFORM TYPE	SLOPE RANGE	MAXIMUM REQUIRED NOS	MINIMUM REQUIRED NOS
Desert Floor	0%-10%	25%	Minimum NOS requirements shall be the landscaping required in this ordinance
Bajada	10-15%	45%	
Hillside	15% - 20%	55%	
	20% - 25%	60%	
	25%+	70%	
NOTE: Usable Open Space requirements of this ordinance may be satisfied by NOS containing dedicated trails, floodway areas or reserved or dedicated steep slope areas.			

The Natural Open Space (NOS) required by the City of Peoria is identified in the *City of Peoria Ordinance Desert Lands Conservation Overlay, Article 14-22B-5A*, Conservation Standards which states that the minimum Natural Open Space (NOS) required is the landscaping required by ordinance and the maximum requirement in the desert floor 10% slope range is 25% maximum, and in the bajada 10-15% slope range the maximum is 45%.

Querencia provides 26% NOS, which is greater than the minimum and does not exceed the maximum. The Project integrates the natural setting as the foundation upon which to develop the character and theme of the community (Refer to Figures 3 and 6).

9.9 Lighting

All lighting standards shall be in compliance with the City of Peoria General Provisions, Article 14-3-2F and the City of Peoria Dark Sky Ordinance.

9.10 Screening, Fencing and Retaining Walls

Screening shall conform to the standards set forth in the City of Peoria General Provisions, Article 14-3-4; the standards for fencing and walls shall be as presented in Article 14-3-5, and Article 14-22A: "Hillside Development Overlay", of the City of Peoria Zoning Ordinance. Refer to Figures 9 and 10 for more details. Higgins & Associates will provide a Noise Study for the frontage to Lake Pleasant Parkway and will be submitted under separate cover with the first Improvement Plan submittal.

9.11 Roadway Standards

Arterial and local streets will be designed consistent with the City of Peoria street standards, Figure 8.

Figure 8 also details the local roadways that are fifty-foot (50') wide tracts, per the City of Peoria design guidelines. However, Querencia is a gated community and the local roads therefore are private and maintained by the HOA.

The Project is adjacent to Lake Pleasant Parkway a designated arterial per the detailed cross section shown in the City of Peoria General Plan, Circulation Map, dated January 2001. The Project acknowledges a one hundred and fifty foot (150') wide Principal Arterial cross section for Lake Pleasant Parkway, with a half street improvement as the Project responsibility and an additional thirty foot (30') wide Scenic Corridor Easement or buffer adjacent to the street right of way.

The 95th Avenue alignment will be dedicated as a 30-foot right of way from approximately the mid-eastern boundary south to the southern boundary (refer to Figure 3 for more details). The 95th Avenue alignment will be improved as a 20-foot wide, decomposed granite surface within a 30-foot right of way at the southeast corner of the Project. At the eastern end of the cul-de-sac on Antelope Drive, a break-away gate will be installed. For the safety of the residents of Querencia, this route will provide emergency vehicle access to the 95th Avenue Alignment. Refer to Figure 3 for more details.

9.12 Parking Standards

Parking within the Project will adhere to the City of Peoria Zoning Ordinance Parking Standards, Article 14-23.

9.13 Enhanced Design Review Standards

A) Design Review Waiver: The owner has submitted a letter to Chad Daines requesting a Design review waiver. The waiver will allow the City of Peoria to review the Covenants, Conditions and Restrictions (CC&Rs) along with the Design Guidelines set specifically for the custom designed homes. The Design Guidelines will identify detailed design requirements, emphasize architectural variation, and will require each resident to submit house plans for review and approval by the Querencia Architectural committee.

B) Plat / Lot Design Considerations

1. For the purpose of increasing pedestrian safety and decreasing pedestrian exposure to traffic, curb radii shall be maintained at a minimum standard required by the City Engineer and Fire Department.
2. Retention areas shall be located within or adjacent to the open space areas.

3. Open space and/or retention areas shall be designed to act as a buffer between single-family residential units and arterial streets.
4. The open space trail is not to be located to run adjacent to the front lot line.

C) Landscape / Perimeter Wall Design Considerations

1. Placement of bench seating, as reasonable and appropriate, shall be located along trails / paths (Figure 7).
2. Areas for pedestrian refuge will be shaded along pedestrian trails.
3. The landscape design shall not impede surveillance abilities.
4. The main entryway shall be appropriately emphasized with landscaping and entry features to provide a focus and identification (Figure 9).
5. Screen walls shall be compatible with buildings and the development theme (Figure 10).
6. Where designated on the Preliminary Plat, the open space and retention areas shall connect to trails (Figure 6).

10.0 Signage Standards

Project signage shall conform to the requirements set forth in Article 14-34 of the City of Peoria Zoning Ordinance, Figure 9. The approval of the Querencia PAD does not constitute the approval of any conceptual signage. All signage shall be subject to a separate review process.

11.0 Landscaping Standards

Project landscaping shall conform to the requirements set forth in Article 14-35 of the City of Peoria Zoning Ordinance. Refer to Figure 11 for the Preliminary Landscape Concept Plan and to Figure 10 for the Wall and Entry Gate Elevations. A Preliminary Landscape Plan for the entire development shall be submitted for review with the Preliminary Plat and approved prior to Final Landscape Plan approval.

As illustrated in the McGough Group Preliminary Landscape Concept Enlargements, Figure 7, the proposed amenities presented for Querencia include a private multi-use community trail, ramada with picnic areas, amenity areas with barbeque grills, a gated monument entry with a possible water feature and a variety of plants that will meet the City of Peoria landscaping guidelines. All useable open space, public amenities, and landscape tracts shall be maintained by the Home Owners Association.

12.0 Slope Analysis

12.1 Slope

The Hillside Development Overlay (HDO) District-Article 14-22A applies to all properties that contain natural mountainous terrain with a slope of ten percent (10%) or greater in any lot or parcel. The existing topography has a slope of ten percent (10%) or greater in some areas; therefore, the Hillside Development Overlay District regulations will apply to this Project (Figure 12). A slope analysis has been completed for this site and the Hillside Development Table below provides a summary of the area allowed for improvements in each slope range. The proposed disturbed area for Querencia is within the total disturbed area allowed in the Hillside Development Overlay District.

12.2 Hillside Development, Table2 **

Designation	Slope Range	Area (ac)	Max Disturbed Area Allowed		Revegetation Area (50% of Disturbed) (ac)	Total Allowed Area (ac)	Proposed Disturbed Area (ac)
			Factor	Area (ac)			
Bajada	10%-15%	8.3974	0.55	4.62	0	8.59	3.55
Hillside	15%-20%	5.6273	0.45	2.53			
Hillside	20%-25%	2.5126	0.40	1.01			
Hillside	25% +	1.4429	0.30	0.43			
Total				8.59		8.59	+/- 3.55**

** The Hillside Development Table is based on the Conceptual Development Plan; CSP-12 dated August 22, 2005. The Hillside Development Table will be required for the Preliminary Plat review and to be recorded along with the Final Plat. In addition, all Hillside Lots and Maximum Disturbed Area will be delineated and recorded on the Final Plat. The Areas are subject to change with the Final Plat.

13.0 Utilities

13.1 Public Utilities & Services, Table 3

Utility	Company
Water	City of Peoria
Sewer, Refuse, Fire & Emergency	City of Peoria
Gas	Southwest Gas Company
Electric	Arizona Public Service
Police	City of Peoria
Telephone	Qwest Communication
Cable	Cox and Qwest Communications

13.2 Potable Water

Querencia has been planned and engineered to be in compliance with the City of Peoria Design Guidelines. Querencia is a development that will take advantage of the existing services, utilities and facilities in the community. The CMX project manager has met with the City of Peoria Utilities Department and verified the ability to connect to the 16" waterline in Lake Pleasant Parkway that the City of Peoria is in the process of installing. The future 8" waterline just north of Querencia, designed by Red Hawk Engineering for the La Strada Del Lago development, will be a secondary connection for Querencia. The waterline will be designed out of the Querencia north property boundary through a tract just west of the existing gas line. Refer to Figure 3.

The project engineer has reviewed the existing and approved master water and wastewater plans for infrastructure available on Lake Pleasant Parkway as a means for providing services to the residents of Querencia. Per subsequent meetings with the City of Peoria staff, it has been determined that there are adequate sewer and water facilities located in Lake Pleasant Parkway to serve

this site. All of the lots will have a sprinkler system. A Modified 13d sprinkler system will be provided on all hillside lots as required and indicated on the water improvement plans and final plat. The Water Analysis Report will be submitted under separate cover with the first Improvement Plan submittal.

13.3 Wastewater

Querencia has been planned and engineered to be in compliance with the City of Peoria Design Guidelines. Querencia is a development that will take advantage of the existing services, utilities and facilities in the community. The project engineer has also reviewed the existing and approved master wastewater plans for infrastructure available on Lake Pleasant Parkway as a means for providing services to the residents of Querencia. Per subsequent meetings with the City of Peoria staff, it has been determined that there are adequate wastewater facilities located in Lake Pleasant Parkway to serve this site. The CMX engineering team has confirmed that a future stub-out location, to service this site, shall be provided by the City of Peoria on the existing 21-inch sewer line. The Wastewater Analysis Report will be submitted under separate cover with the first Improvement Plan submittal.

13.4 Grading and Drainage

The current drainage flows from the hilltop knolls naturally towards the southwest corner to the site. The drainage design for Querencia will include a series of swales along the rear retaining walls, street flows and if necessary underground drainage pipes that will concentrate flows to the on-site retention basins and discharge at the southwest corner of the site, as is historic. The Preliminary Grading and Drainage plans will be completed and submitted with the preliminary plat. All designs will be submitted to the City of Peoria Engineering Department for review and approval.

14.0 School District & Community Facility

Figure 13 shows the nearest existing school facilities, libraries, police stations and fire stations neighboring the Project. The members of the Project Team have coordinated with the City of Peoria School District to identify the District's requirements for this Project and to initiate discussions for a development agreement. Per on-going discussions with the School District, a school site will not be required for the project. A copy of the contract from the Peoria School District is provided in Appendix C.

15.0 Phasing

In general, the Querencia Community will be developed in one phase. It will not be developed in multiple phases. However two sub-phases of the one general development phase might be considered to be infrastructure construction and the construction of model homes. On site grading and construction is tentatively anticipated to begin around November of 2005.

16.0 PAD Approval Process

- **Conceptual Traffic Analysis:** TASK Engineering has completed a Traffic Impact Study dated March 29, 2005 for Querencia and will be submitted under separate cover with the PAD application.

- **Desert Lands Conservation Report (DLCO):** CMX, LLC will provide one (1) copy of the DLCO Report with the PAD Submittal.
- **Conceptual Water and Sewer Analysis Reports:** CMX, LLC will provide Conceptual Water and Sewer Analysis Reports for Querencia and will be submitted under separate cover with first Improvement Plan submittal.
- **School District Coordination:** Mr. Edward F. Sloat, Director of Research and Planning for the Peoria Unified School District has provided a Contract for Querencia to Desert Cove Homes. Refer to Appendix C for a copy of the Contract.
- **Neighborhood Meeting:** A Neighborhood Meeting was held on March 29, 2005 in the Zuni Hills Elementary School multi-purpose room located at 10851 West Williams Road in Sun City, Arizona. Refer to Appendix D for a copy of the Neighborhood Meeting notification letter, invitation, sign-in sheet, comment cards, meeting minutes, phone log and responses.
- **Property Ownership Notification:** CMX, LLC will provide the City of Peoria stamped envelopes and a list of property owners within 300 feet of the site with the PAD Application submittal. Refer to Appendix E for copy of the adjacent property owners figure and lists.
- **Site Posting:** The site will be posted no less than 15 days prior to the scheduled Public Hearing per the City of Peoria Site Posting requirements.
- **Preliminary Plat:** CMX, LLC will provide a Preliminary Plat for Querencia that will be submitted under separate cover per the City of Peoria Preliminary Plat Engineering guidelines and standards.
- **Architectural Design Review:** The developer will file an Architectural Design Review Waiver.
- **Final Plat:** CMX, LLC will provide a Final Plat for Querencia and will be submitted under separate cover per the City of Peoria Final Plat Engineering guidelines and standards.
- **Final Landscape Review:** The McGough Group will provide a Final Landscape Plan for approval with separate City fees and requirements. The Landscape Plans will be submitted to the City of Peoria prior to the issuance of any building permits.
- **Noise Study:** Higgins & Associates will provide a Noise Study for the frontage to Lake Pleasant Parkway and will be submitted under separate cover with the first Improvement Plan submittal.

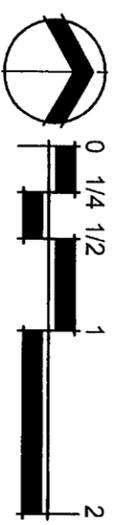
17.0 Figures

Querencia

Peoria, Arizona
PAD

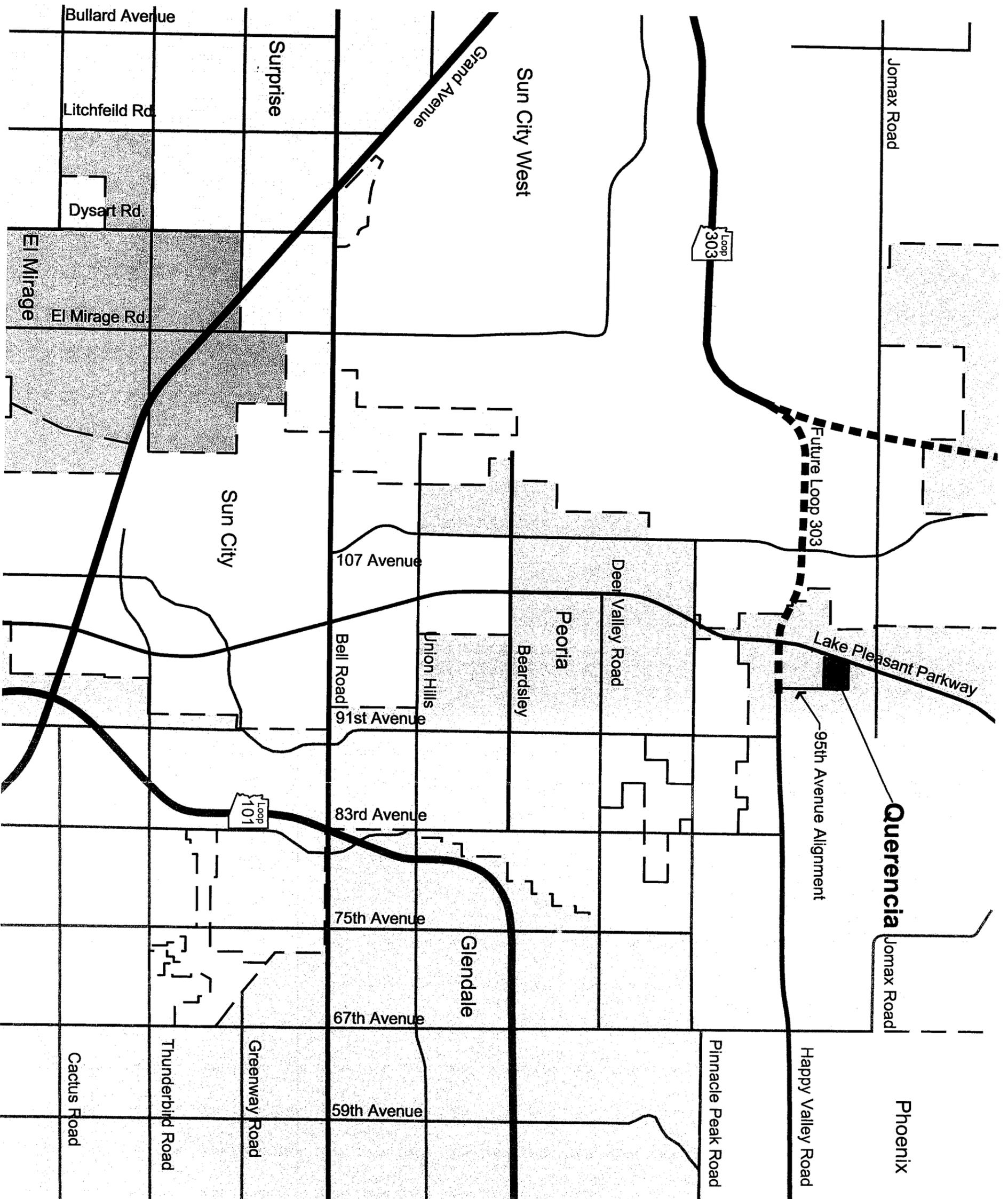
Regional Vicinity Map

Figure 1



Legend

- Project Boundary
- Freeway
- Proposed Freeway
- Arterial Street



Sources

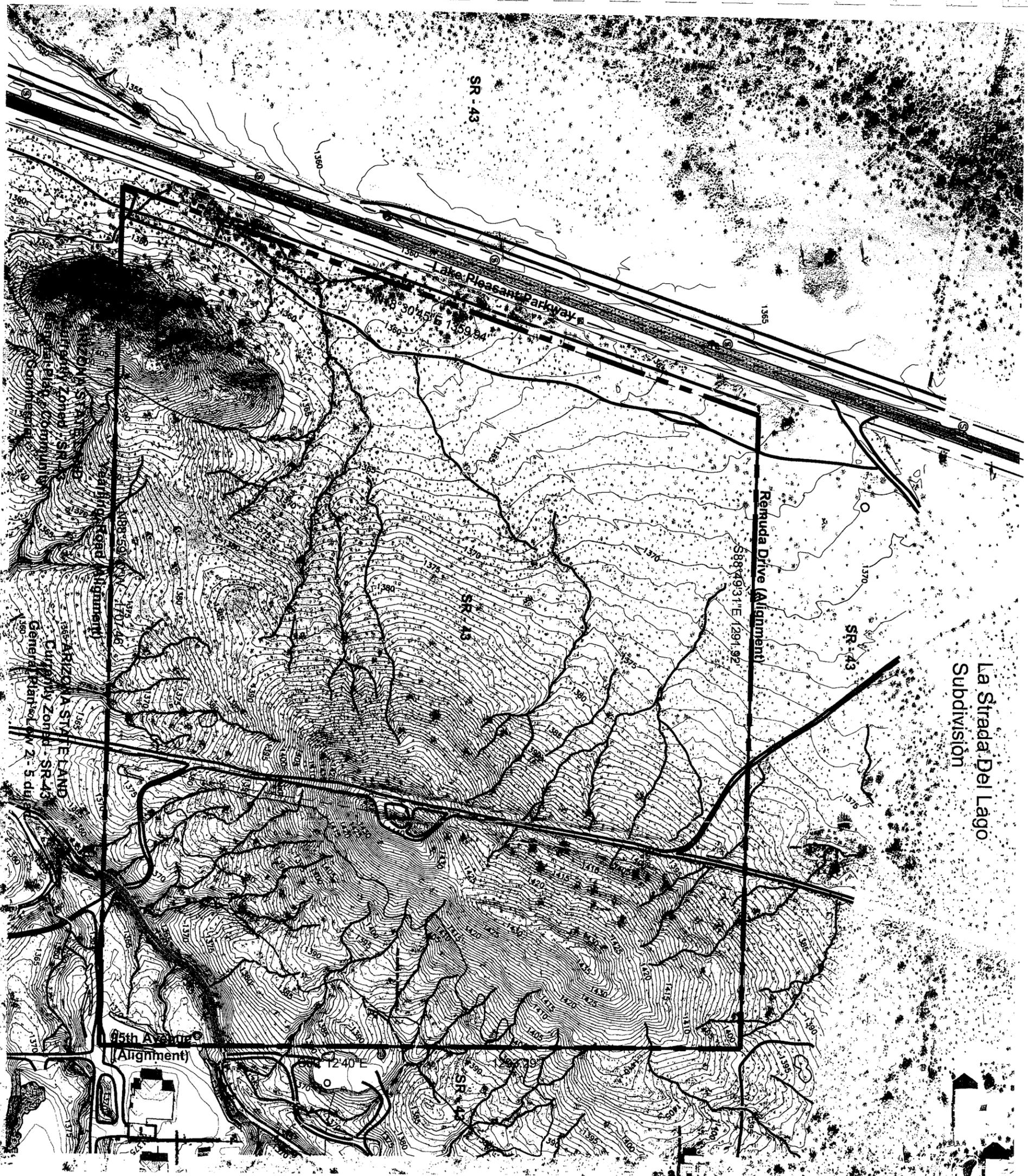
- 1) Maricopa County Assessors Website
<http://www.maricopa.gov/assessor/>
- 2) Peoria General Plan

Note ● Parcels and roadways are conceptual and subject to change through the design and development process

CMX Project #: 7073
August 2005



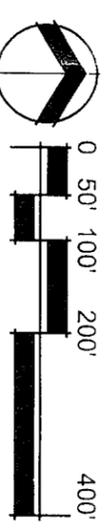
La Strada Del Lago Subdivision



Querencia
Peoria, Arizona
PAD

Existing Conditions

Figure 2



Legend

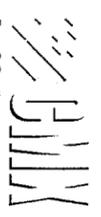
	Project Boundary
	Approved Jurisdictional Wash
	Found brass cap in hand hole
	Found brass cap flush
	Set 1/2" rebar ris #19344 or as noted
	Fire hydrant
	Water valve
	Water manhole
	Asphalt
	Dirt road
	Easement line
	Corrugated metal pipe
	Maricopa county records
	Point of beginning
	Measured
	Record

1) Cmx ALTA Survey 12/22/2004

2) Proposed J.D. Wash X:\17000\7073\Exhibits\Jurisdictional Delineations\JD-Plans\JD-USACE-Submitted\7073-JD-01.dwg

3) X:\17000\7073\Planning\Images\7073-RedHawk-Plat.tif

CMX Project #: 7073
August 2005



Querencia

Peoria, Arizona

Preliminary Development Plan

Figure 3



Legend

- Project Boundary
- 1'-0" NVAE
- Approved Jurisdictional Delineated Wash
- Private Multi-Use Trail
- Unpaved Equestrian Trail
- NOS Preservation Easement Line
- 30' Emergency Fire Entrance (D.G. Road)
- Natural Open Space (NOS)
- Retention Basin
- Open Space
- Drainage Arrow
- Proposed Amenity Areas

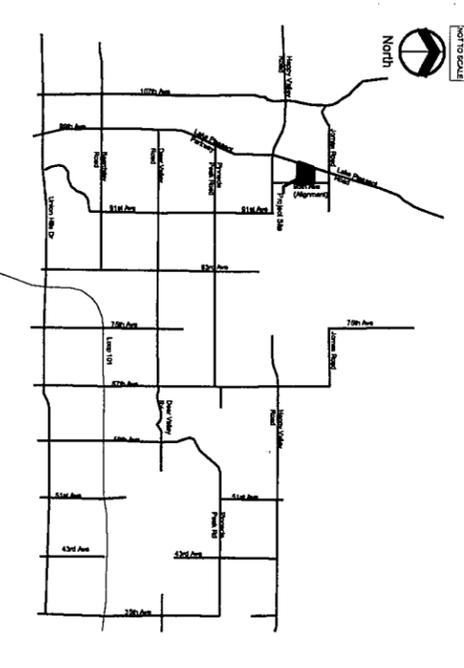
Site Data

Gross Area: 44.43 acres
 N.O.S.: 11.05 acres
 R.O.W.: 5.58 acres
 Open Space & Retention: 12.27 acres
 Retention Only: 2.57 acres
 Net Area: 15.14 acres

Number of Lots: 54
 Gross Density: 1.2 du/ac
 Minimum Lot Area: 12,000 sq. ft.
 Minimum Lot Size: 90' x 133.3'
 Lot Coverage: 45% Max.
 Max. Building Height: 30' 0"

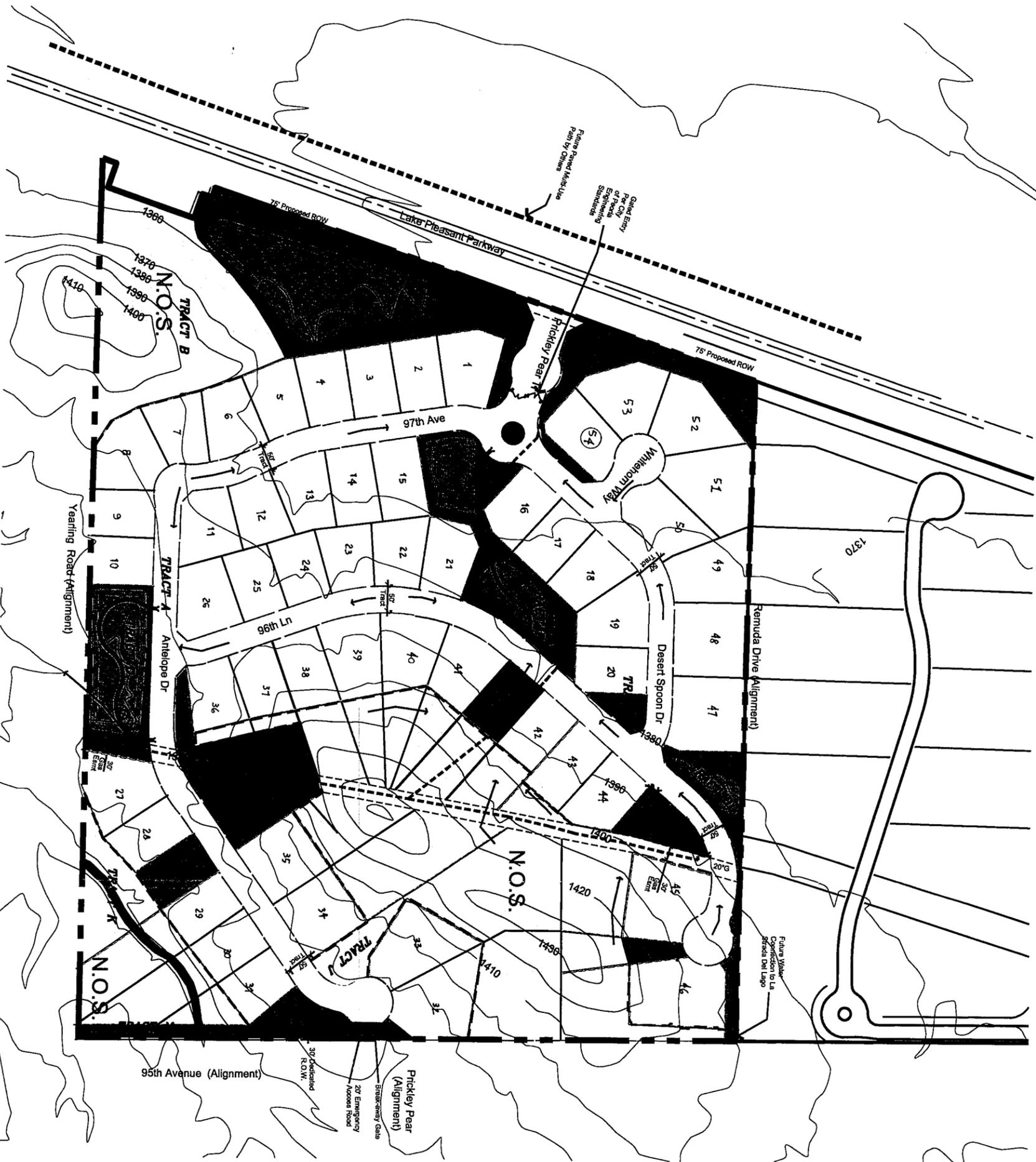
Existing Zoning: SR-43 (Hillside Development Overlay District)
 Proposed Zoning: R1-12 (RAD)
 N.O.S. Ret'd Max: Approx. 35%
 N.O.S. Provided: Approx. 25%

Vicinity Map



Hillside Development Table

Slope Range/Pave (A/C)	Max Allowed Density (D)	Max Allowed Density (D)
10%-15%	8.39/4	0.55
15%-20%	5.62/3	0.45
20%-25%	2.57/2	0.40
25%+	1.44/2	0.30
Total	17.98/2	0.43



This file references the current ltrg file. The area calculations are based upon the Building Envelope Disturbed Area Exhibit.

7740 North 18th Street
 Suite 100
 Phoenix, AZ 85020
 P: 602.557.1900
 F: 602.557.1901

January 2006
 CMX Project Number: 7073
 Project Manager: S. Duplassis
 Designed By: A. Pangus
 Drawn By: S. Bunting

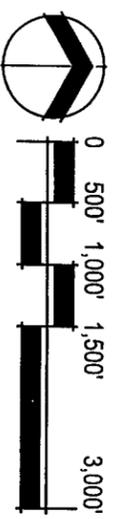
BMT
 Engineers
 Architects
 Construction Management

Querencia

Peoria, Arizona
PAD

Existing General Plan

Figure 4



Legend

- Project Boundary
- Arterial Streets
- Border
- Lake Pleasant Pkwy Corridor
- Estate: 0-2 du/ac. Target density = 1.0 du/ac.
Low: 2-5 du/ac. Target density = 3.0 du/ac.
- Mixed Use
- Community Commercial
- Park/Open Space
- Public/Quasi-Public
- Water/Flood Zones
- County Islands

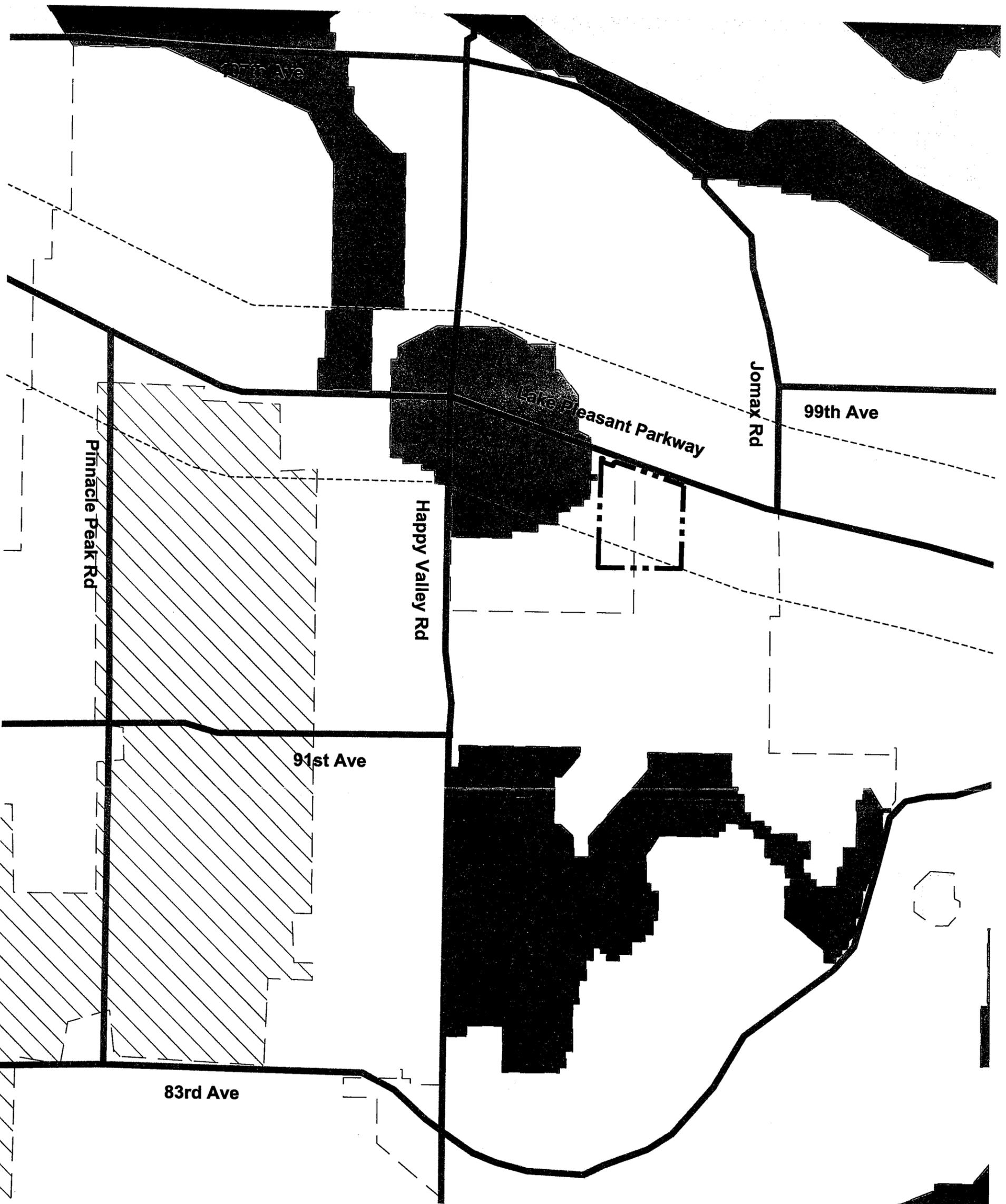
Sources

- 1) Peoria General Plan

Note: ● Parcels and roadways are conceptual and subject to change through the design and development process

CMX Project #: 7073
August 2005

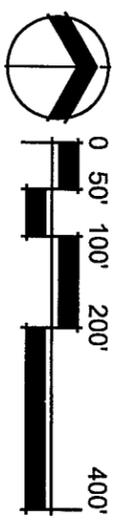
Project Manager: S. Duplessis Designed By: A. Pangus
Drawn By: S. Bunting
WA:\7000\7073\Planning\PE-Exhibits\PAD 2nd Submittal\7073-Fig-04-General Plan.dwg 10-24-2005 - 2-



Querencia
Peoria, Arizona
PAD

Surrounding Land Uses

Figure 5



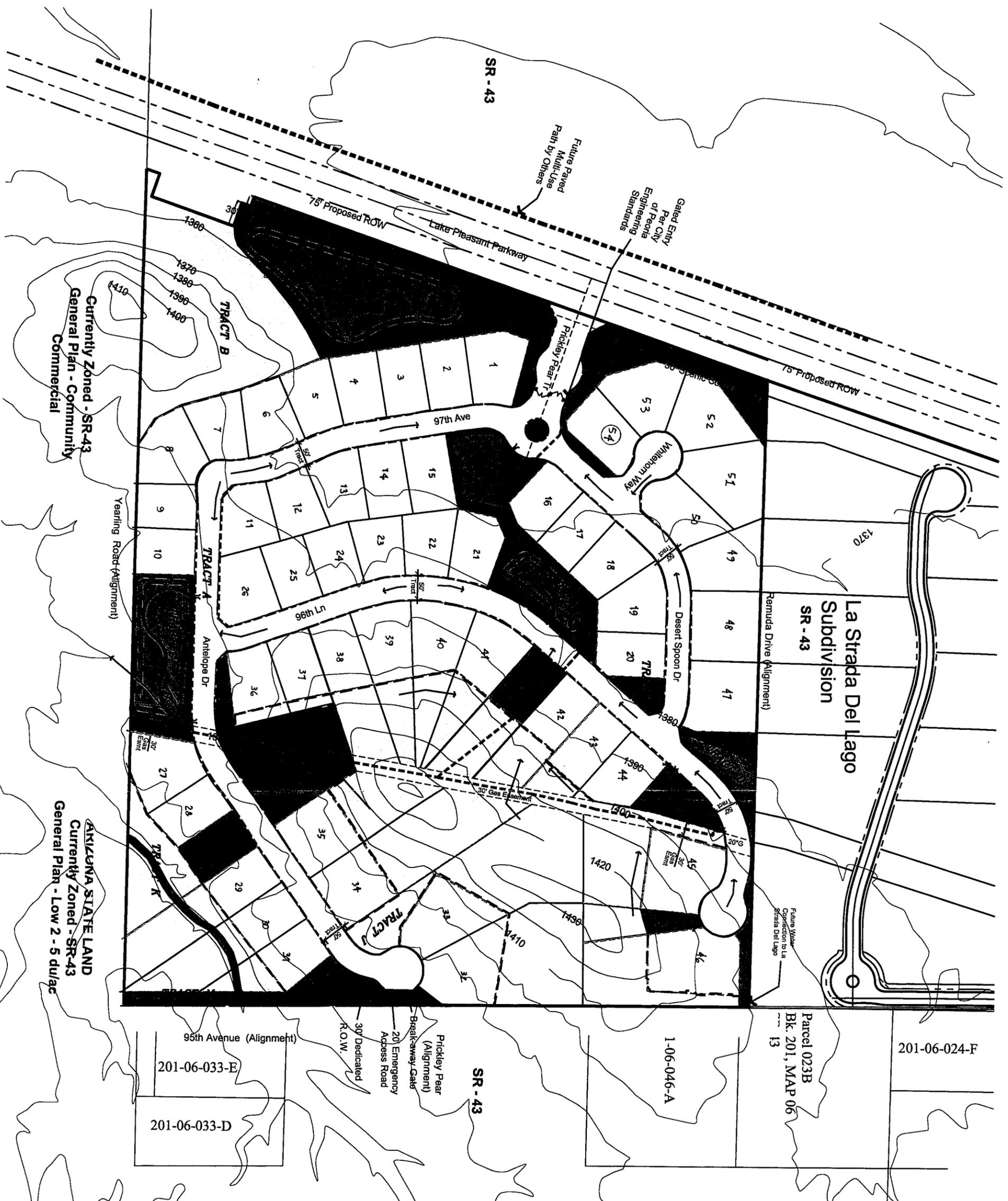
Legend

- Project Boundary
- 1'-0" NVAE
- Approved Jurisdictional Wash
- Natural Open Space (NOS)
- Open Space
- Retention Basin
- 20' Emergency Access Road
- NOS Preservation Easement Line

Note: ● Parcels and roadways are conceptual and subject to change through the design and development process

CMX Project #: 7073
January 2006

Project Manager: S. Duplessis
Designed By: A. Pangus
Drawn By: S. Bunting
W:\7000\7073\Planning\PAD 3rd Submittal\7073-Fig-05-Surrounding Land Uses.dwg 02-09



Currently Zoned - SR-43
General Plan - Community Commercial

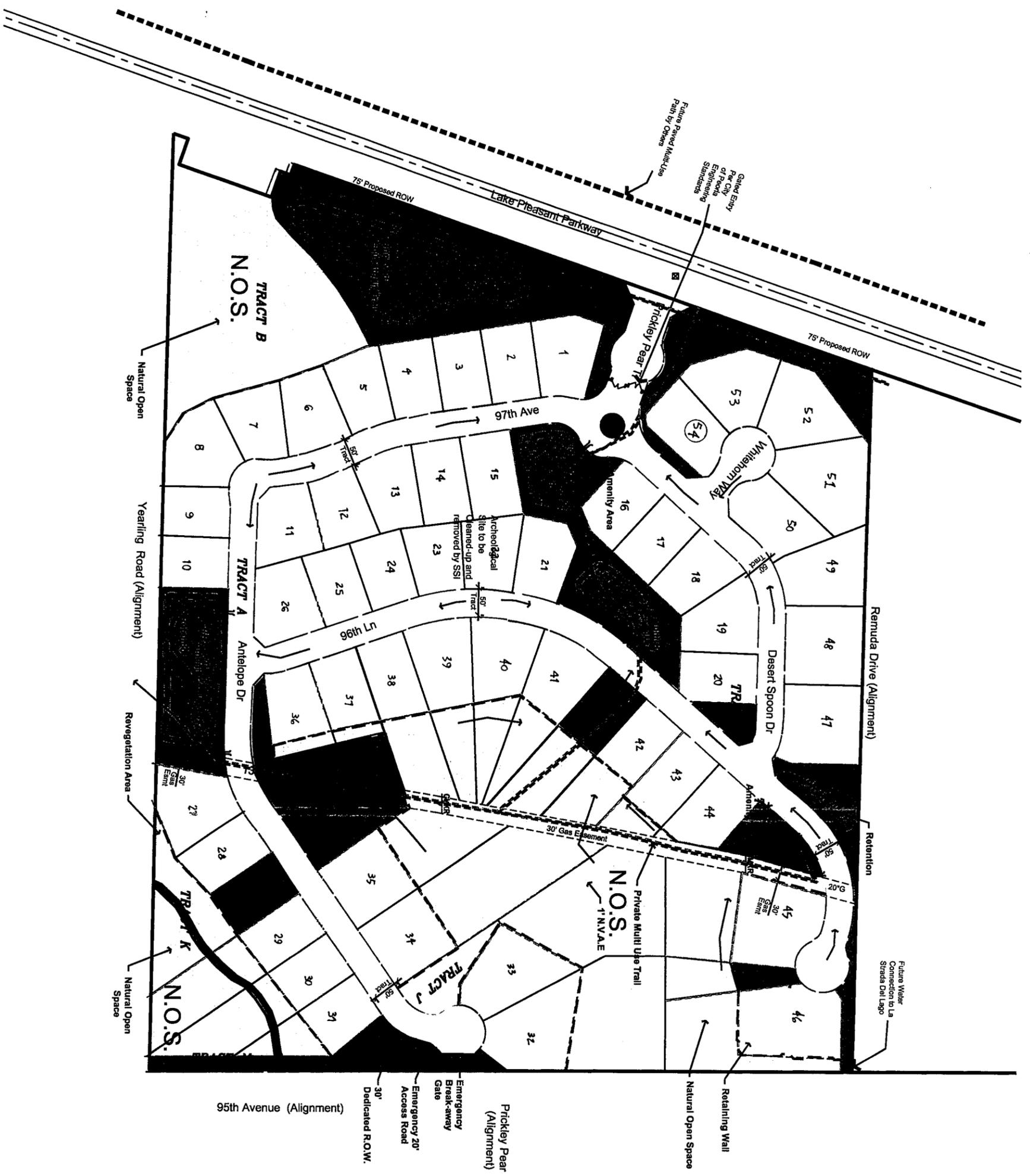
ARIZONA STATE LAND
Currently Zoned - SR-43
General Plan - Low 2 - 5 du/lac

Querencia

Peoria, Arizona
PAD

Conceptual Open Space Plan

Figure 6



- Legend**
- Project Boundary
 - Private Multi-use Trail
 - Unpaved Equestrian Trail

Note: ● Parcels and roadways are conceptual and subject to change through the design and development process

CMX Project #: 7073
January 2006



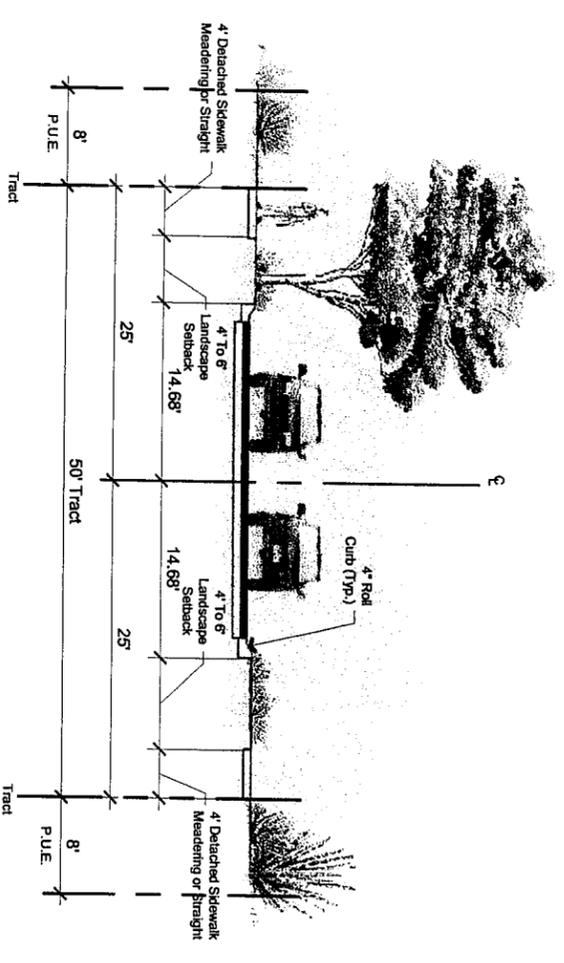
Querencia

Peoria, Arizona
PAD

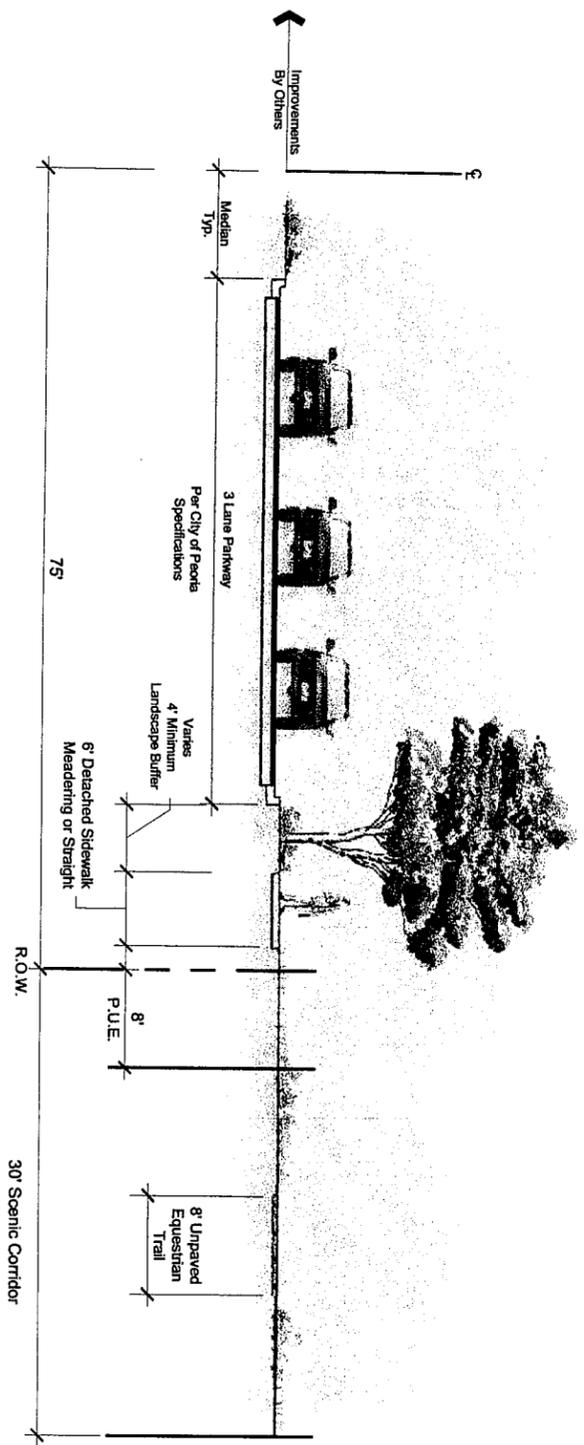
Typical Street Cross Sections

Figure 8

NOT TO SCALE



Local Street 1



Lake Pleasant Parkway 2

Notes:

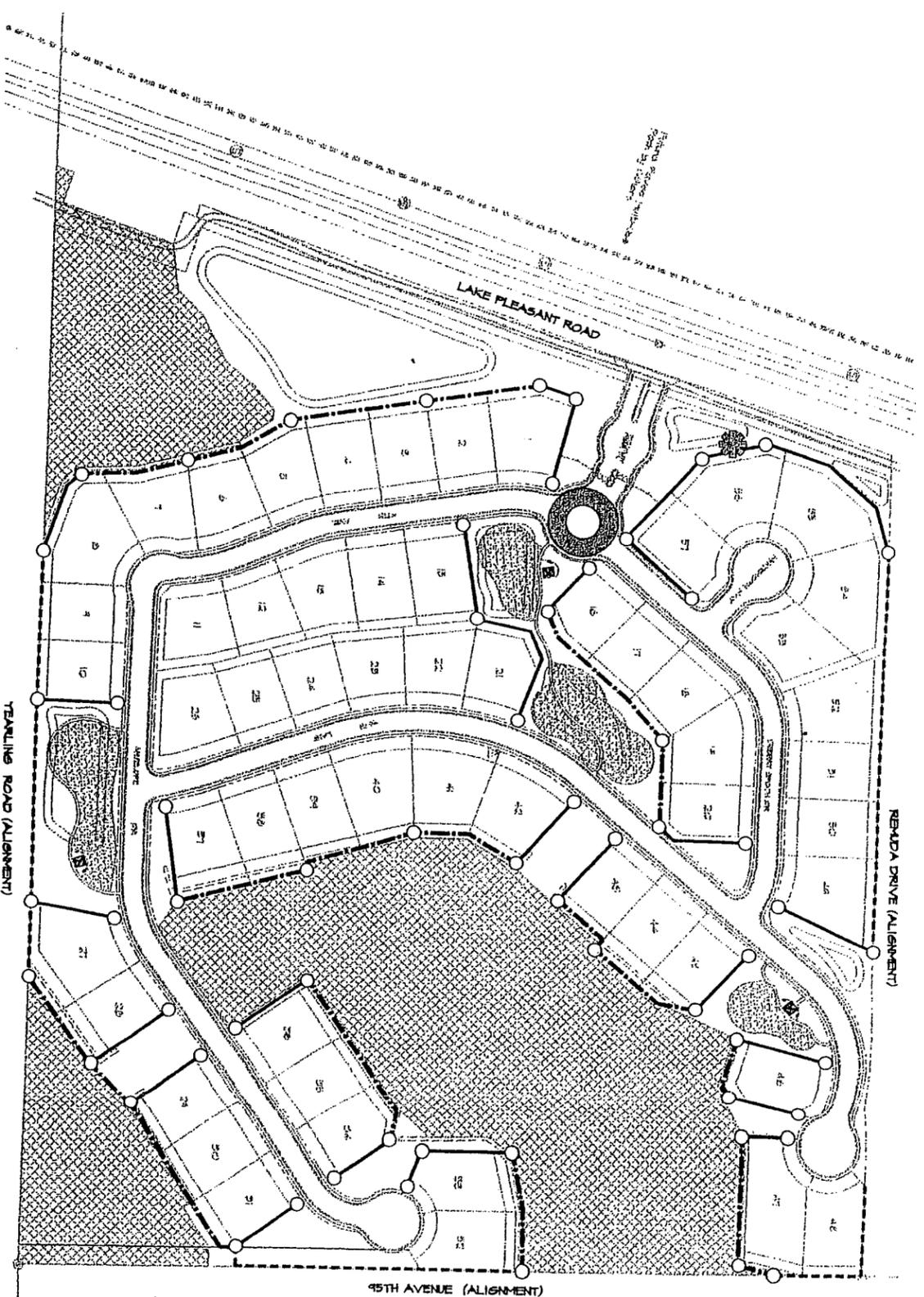
1. Local Streets to be engineered per the City of Peoria details and guidelines.
2. Lake Pleasant Parkway to be engineered per the City of Peoria corridor specific area plan details and guidelines.

Note: ● Parcels and roadways are conceptual and subject to change through the design and development process

CMX Project #: 7073
August 2005

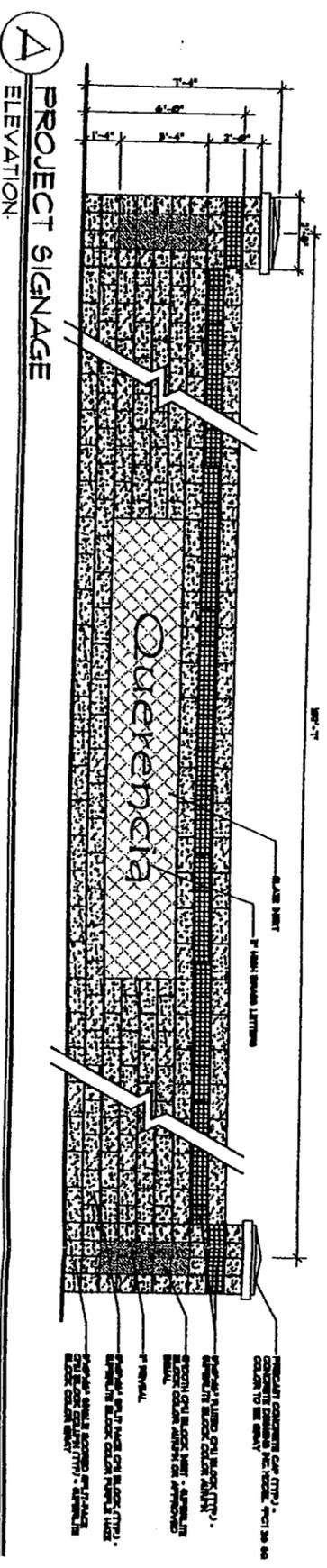
Project Manager: S. Duplessis
Designed By: A. Pangus
Drawn By: S. Burnling
X:\7000\7073\Planning\PE-Exhibits\PAD 2nd Submission\7073-Fig-08-Street Cross Sections.dwg 08-23-2005 - 1





WALL LAYOUT PLAN

SCALE: 1/4" = 1'-0"



SCALE: 3/8" = 1'-0"

PROJECT WALL KEY

- PROJECT THEME WALL (SEE DETAIL 'B', SHEET L3)
- PROJECT VIEW FENCE (SEE DETAIL 'C', SHEET L3)
- PROJECT BUILDER WALL (SEE DETAIL 'E', SHEET L3)
- THEME COLUMN (SEE DETAILS 'B' AND 'C', SHEET L3)
- PROJECT SIGNAGE LOCATION (SEE DETAIL 'A', THIS SHEET)

NOTE:
ALL COLUMNS AND WALLS SHALL BE LOCATED OUT OF SIGHT VISIBILITY TRIANGLE.

Note: The Site Plan will be changed to concur with the 54 lot layout shown on Preliminary Development Plan Figure 3. The Landscape Plans will be modified accordingly during the Preliminary Plat Stage.

Querencia DRAFT

Peoria, AZ
PAD

Figure 9

Wall Layout Plan & Signage



PRELIMINARY LANDSCAPE CONCEPT
QUERENCIA

Peoria

PREPARED FOR: DESERT COVE HOMES

Arizona

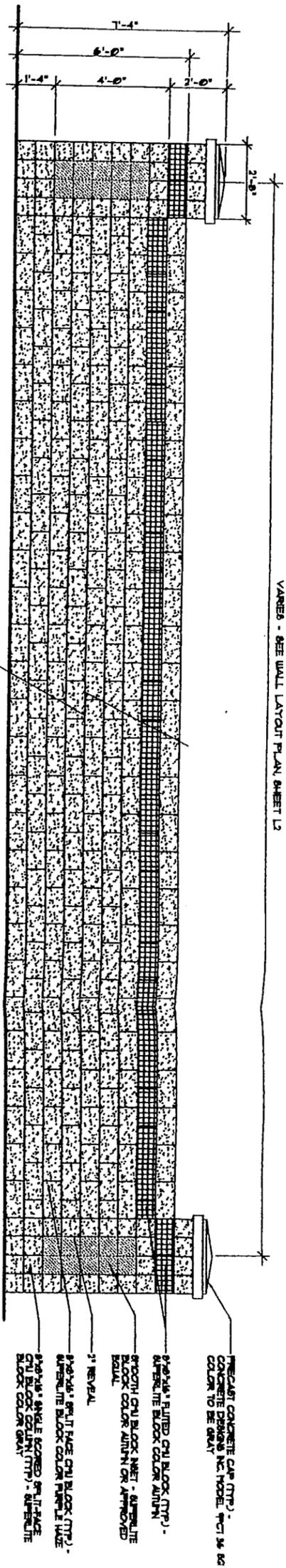


SHEET

L2

March 28, 2005

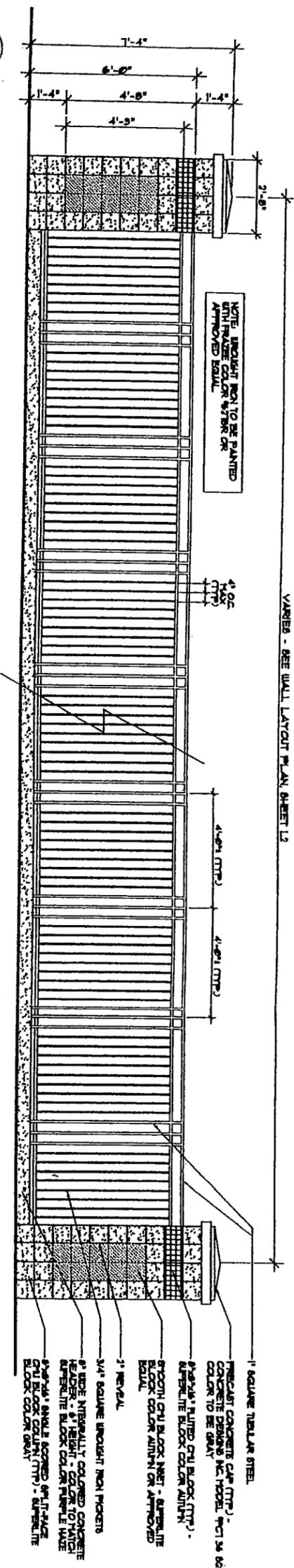
VARIABLES - SEE WALL LAYOUT PLAN, SHEET L3



B THEME WALL W/ COLUMN
ELEVATION

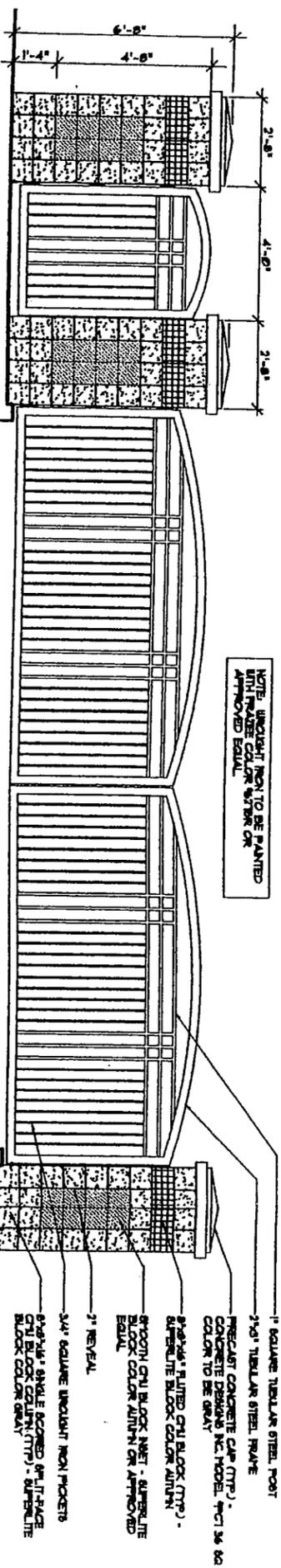
SCALE: 1/2"=1'-0"

VARIABLES - SEE WALL LAYOUT PLAN, SHEET L3



C VIEW WALL W/ COLUMN
ELEVATION

SCALE: 1/2"=1'-0"

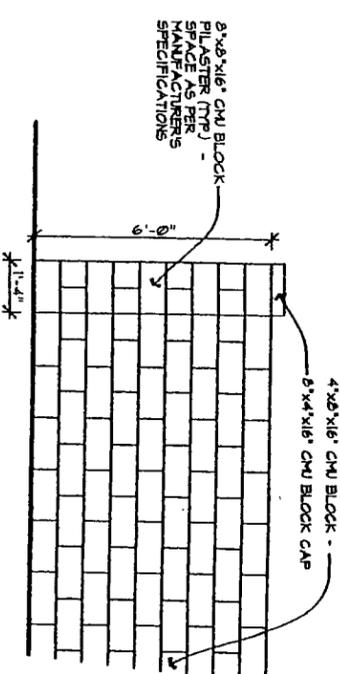


D VEHICULAR ENTRY GATES
ELEVATION

SCALE: 1/2"=1'-0"

E PROJECT BUILDER WALL
ELEVATION

SCALE: 1/2"=1'-0"



Note: The Site Plan will be changed to concur with the 54 lot layout shown on Preliminary Development Plan Figure 3. The Landscape Plans will be modified accordingly during the Preliminary Plat Stage.

NOTE: UNPAINTED IRON TO BE PAINTED WITH PAVEMENT COLOR WATER OR APPROVED EQUAL.

1" SQUARE TUBULAR STEEL POST
2x4" TUBULAR STEEL RAILE
PRECAST CONCRETE CAP (TYP.) - CONCRETE DESIGN NO. MODEL #C1 34 82 COLOR TO BE GRAY
8"x8"x16" RIBBED CMU BLOCK (TYP.) - SUPERLITE BLOCK COLOR ALUMIN OR APPROVED EQUAL
3" REVEAL
3/4" SQUARE UNPAINTED IRON PICKETS
4"x8"x16" SINGLE SCORED 9"x11" FACE CMU BLOCK COLUMN (TYP.) - SUPERLITE BLOCK COLOR GRAY

1" SQUARE TUBULAR STEEL
PRECAST CONCRETE CAP (TYP.) - CONCRETE DESIGN NO. MODEL #C1 34 82 COLOR TO BE GRAY
8"x8"x16" RIBBED CMU BLOCK (TYP.) - SUPERLITE BLOCK COLOR ALUMIN
3" REVEAL
3/4" SQUARE UNPAINTED IRON PICKETS
8" WIDE INTERNALLY COLORED CONCRETE PIPES - 8" HEIGHT - COLOR TO MATCH SUPERLITE BLOCK COLUMN PANEL HEAD
4"x8"x16" SINGLE SCORED 9"x11" FACE CMU BLOCK COLUMN (TYP.) - SUPERLITE BLOCK COLOR GRAY

PRECAST CONCRETE CAP (TYP.) - CONCRETE DESIGN NO. MODEL #C1 34 82 COLOR TO BE GRAY
8"x8"x16" RIBBED CMU BLOCK (TYP.) - SUPERLITE BLOCK COLOR ALUMIN
3" REVEAL
3/4" SQUARE UNPAINTED IRON PICKETS
4"x8"x16" SINGLE SCORED 9"x11" FACE CMU BLOCK COLUMN (TYP.) - SUPERLITE BLOCK COLOR GRAY

Querencia
Peoria, AZ
PAD

DRAFT

Figure 10

Wall & Entry Gate Elevations

PRELIMINARY LANDSCAPE CONCEPT

QUERENCIA

Peoria

PREPARED FOR: DESERT COVE HOMES

ARIZONA



SHEET

L3

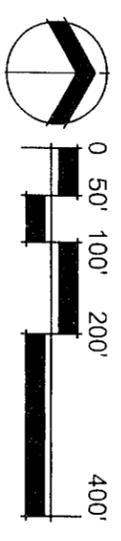
March 28, 2005

Querencia

Peoria, Arizona
PAD

Slope Analysis

Figure 12



Legend

----- Project Boundary

25 FOOT GRID SLOPE ANALYSIS			
Color	Range	Percent	Area
Lightest Gray	00-05	32.1	623873.04
Light Gray	05-10	27.5	535031.95
Medium-Light Gray	10-15	18.8	365999.82
Medium Gray	15-20	12.6	245376.60
Dark Gray	20-25	5.7	109819.51
Very Dark Gray	25-30	1.9	36543.57
Black	30-35	0.9	16802.04
	35-40	0.3	6706.53
	40-45	0.1	1231.43
	45-UP	0.0	881.05

25 FOOT GRID SLOPE ANALYSIS			
Color	SLOPE RANGE	Area (sf)	Area (ac)
Lightest Gray	0-10%	1158873	26.6041
Light Gray	10-15%	365790	8.3974
Medium-Light Gray	15-20%	245127	5.6273
Medium Gray	20-25%	109451	2.5126

Source

CMX Project #: 7073
August 2005

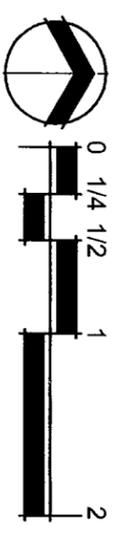


Querencia

Peoria, Arizona
PAD

Nearest Existing Community Facilities

Figure 13



Legend

Nearest Fire Station- Station #195
23100 North Lake Pleasant Rd. Peoria, AZ 85382
Distance - 1.84 miles

Nearest Police Stations
6255 West Union Hills Glendale, Az 85308
Distance - ±9.3 Miles
13003 West Bell Rd. Sun City, Az 85374
Distance - ±9.1 miles

Nearest High School- Sunrise Mountain High
21200 N. 83rd Ave. Peoria, Az 85382
Distance - ±5.7 miles

Nearest Elementary School- Parkridge Elementary
9970 West Beardsley Peoria, Az 85382
Distance - ±3.6 miles

Zuni Elementary
10851 West Williams Rd Sun City, Az 85373
Distance - ± 2.7 miles

Nearest Library- Sunrise Mountain
21200 N. 83rd Ave. Peoria, Az 85382
Distance - ±5.7 miles

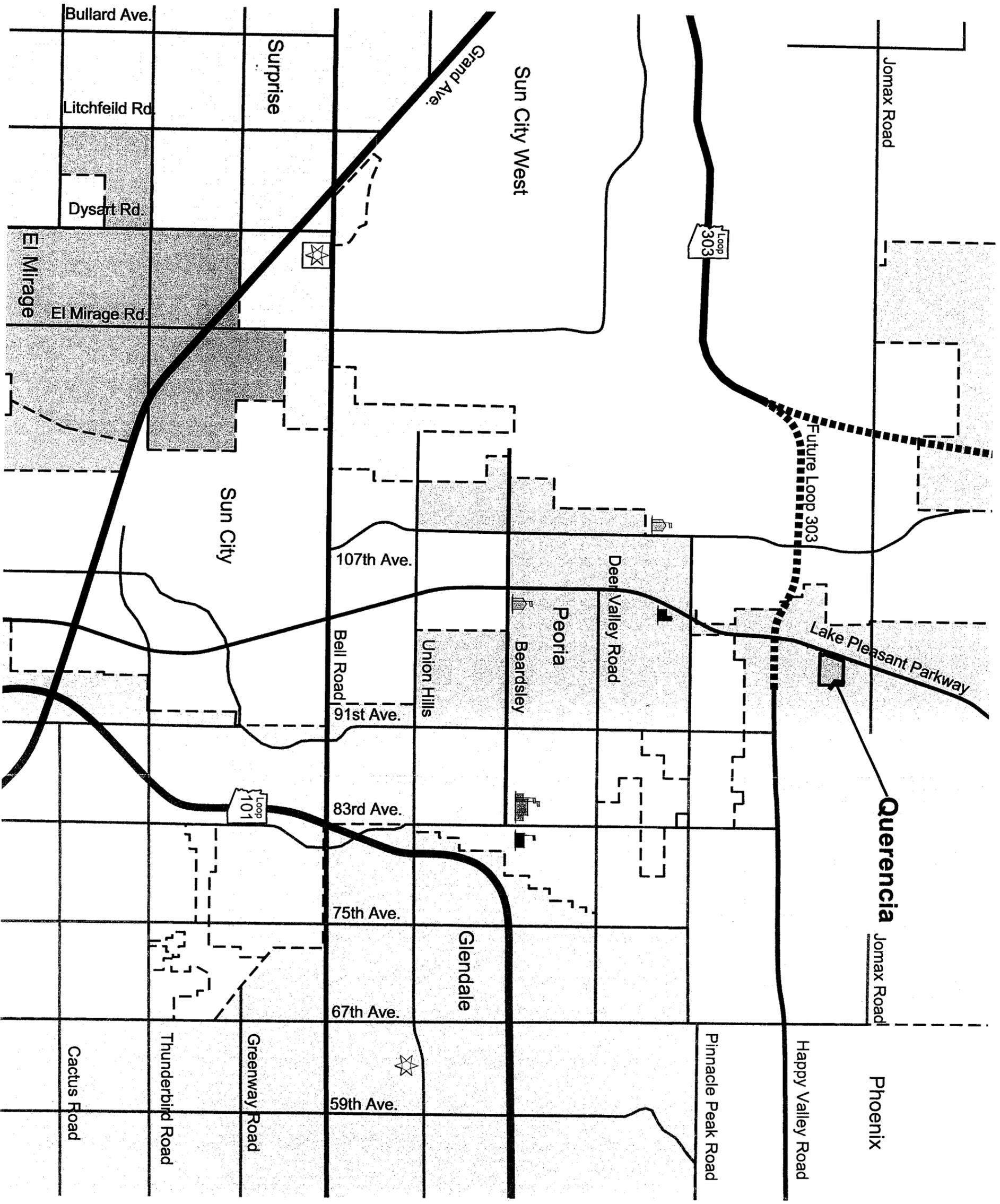
Sources

- 1) Maricopa County Assessors Website
<http://www.maricopa.gov/assessor/>
- 2) Peoria General Plan
- 3) Peoria Fire Department
<http://www.peoriaaz.com/index1.htm>
- 4) Peoria Unified School District #11
<http://www.peoriaud.k12.az.us/>

Note: ● Parcels and roadways are conceptual and subject to change through the design and development process

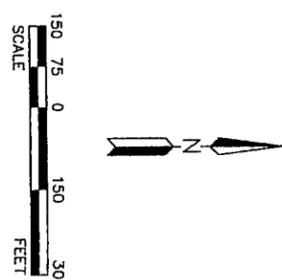
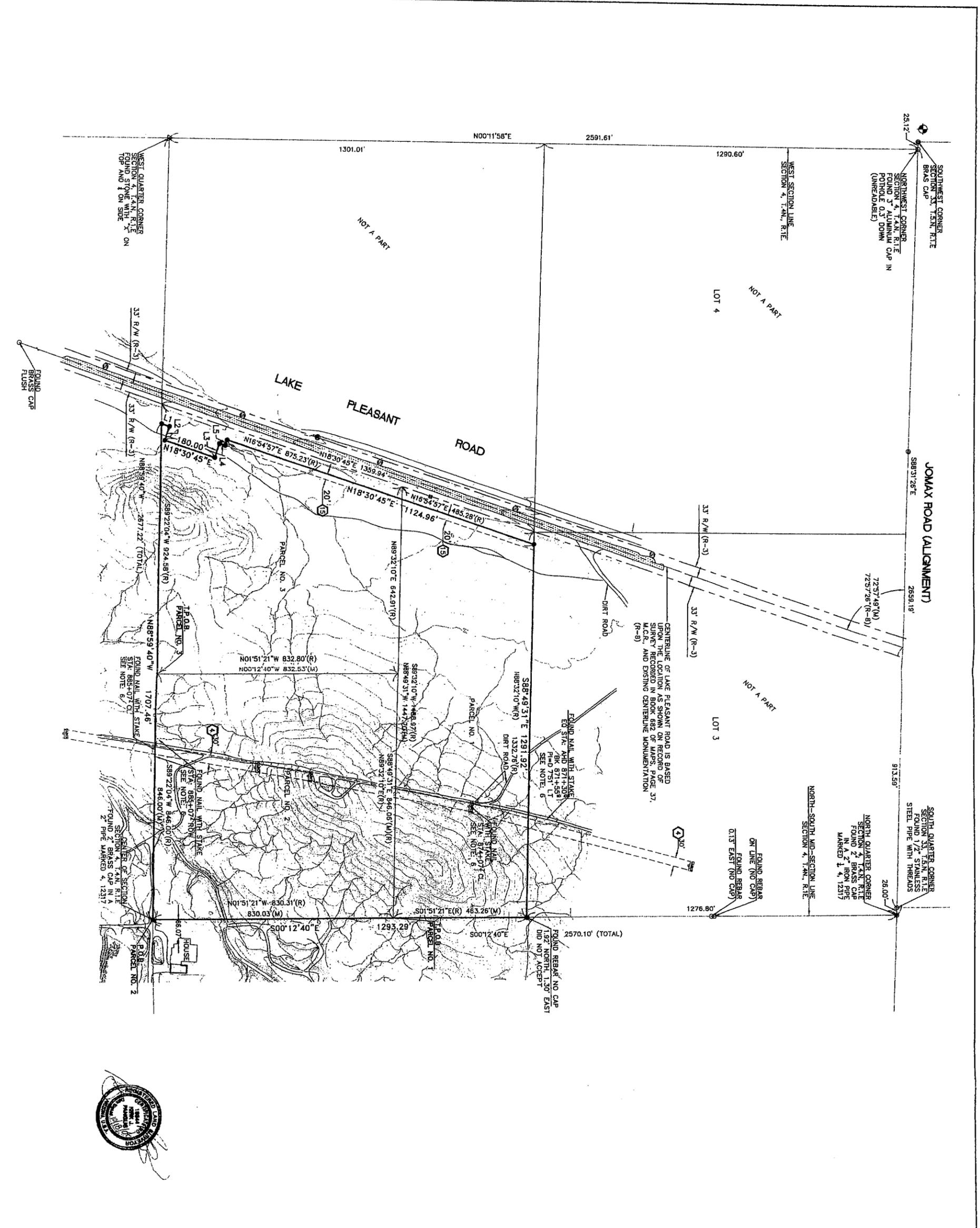
CMX Project #: 7073
August 2005

Project Manager: S. Duplessis Designed By: A.Pangus Drawn By: S.Bunting
X:\17000\0703\Planning\PAD 2nd Submittal\17073-Fig-13-Nearest Existing Community Facilities



18.0 Appendix

APPENDIX A
A.L.T.A. Survey



- LEGEND**
- FOUND MONUMENT AS NOTED
 - FOUND BRASS CAP FLUSH
 - SET 1/2" REBAR RLS #19344 OR AS NOTED
 - GAS MARKER
 - SANITARY SEWER MANHOLE
 - TELEPHONE RISER
 - CABLE TV MANHOLE
 - BENCH MARK
 - ▬ ASPHALT
 - ▬ BOUNDARY LINE
 - ▬ RIGHT OF WAY LINE (R/W)
 - ▬ EASEMENT
 - ▬ DIRT ROAD
 - ▬ POINT OF BEGINNING
 - ▬ TRUE POINT OF BEGINNING
 - (M) MEASURED
 - (R) RECORDED

LINE	BEARING	DISTANCE
11	N18°30'45"E	28.64'
12	S71°29'15"E	50.00'
13	N71°29'15"W	50.00'
14	N18°30'45"E	19.89'
15	N71°29'15"W	20.00'

DESERT COVE HOMES
LANE PLEASANT ROAD & JOMAX ROAD
 PEORIA, ARIZONA

ALTA/ASCM LAND TITLE SURVEY

CMX PROJ. 7073
 DATE: 08/02/04
 SCALE: 1"=150'
 DESIGNED: KCO DRAWN: MJH APPROVED: KCO
 REV. REVISION BOUNDARY 09/16/2004
 SEVENTH AMENDED TITLE COMMITMENT 10/15/2004

DWG. NO. **SV-1**
 SHT. 2 OF 2

APPENDIX B
Jurisdictional Wash Letters



DEPARTMENT OF THE ARMY
LOS ANGELES DISTRICT, CORPS OF ENGINEERS
ARIZONA-NEVADA AREA OFFICE
3636 NORTH CENTRAL AVENUE, SUITE 900
PHOENIX, ARIZONA 85012-1939

REPLY TO

May 16, 2005

Office of the Chief
Regulatory Branch

Ms. Toni Bonar
Planning Project Manager
CMX Group, Inc.
7740 North 16th Street, Suite 100
Phoenix, Arizona 85020

CMX
MAY 17 2005

File Number: 2005-01077-SDM

Dear Ms. Bonar:

Reference is made to your letter of March 28, 2005 in which you inquired as to the jurisdictional limits of Section 404 of the Clean Water Act for the unnamed wash at the proposed 44-acre development known as Querencia (Section 4, T4N, R1E), Peoria, Maricopa County, Arizona.

The enclosed aerial photograph or map delineates the waters of the United States, including wetlands, regulated by Section 404 of the Clean Water Act. This approved jurisdictional determination will remain in effect for five years from the date of this letter unless an unusual flood event occurs. After this five-year period or after an unusual flood event alters stream conditions, the Corps of Engineers reserves the authority to retain the original jurisdictional limits or to establish new jurisdictional limits as conditions warrant.

Each water of the United States herein delineated is a water that is tributary to an interstate water. The Section 404 jurisdictional limit for a water of the United States is defined at 33 CFR Part 328. The jurisdictional limit for a non-tidal water of the United States is determined by the jurisdictional wetland boundary and/or the ordinary high water mark. The jurisdictional limit of a wetland is determined in accordance with the Corps of Engineers 1987 Wetlands Delineation Manual. Otherwise, presence of the indicators stated in the definition of ordinary high mark (33CFR 328.3(e)) are used to establish the jurisdictional limit of a water of the United States. The basis of this jurisdictional determination is shown on the enclosed checklist.

Any discharge of dredged or fill material within the designated jurisdictional area requires a Section 404 permit from the Corps of Engineers. The Corps of Engineers emphasizes avoidance of the delineated jurisdictional area. Please review this delineation and evaluate your proposed activity to ensure that avoidance of the jurisdictional area is given full consideration in your design. If all discharges of dredged or fill material occur outside the designated jurisdictional area, no Section 404 permit is required. If avoidance is not practicable, please reference File Number 2005-01077-SDM when submitting your Section 404 permit application to the Corps of Engineers. Please be advised that your application needs to substantiate that avoidance of designated jurisdictional areas is not practicable and substantiate that impacts to waters of the United States have been minimized.

Furthermore, you are hereby advised that the Corps of Engineers has established an Administrative Appeal Process for jurisdictional determinations which is fully described at 33 CFR Part 331. The Administrative Appeal Process for jurisdictional determinations is diagrammed on the enclosed Appendix C. If you decide not to accept this approved jurisdictional determination and wish to provide new information please send the information to this office. If you do not supply additional information you may appeal this approved jurisdictional determination by completing the attached "Notification of Administrative Appeal Options and Process and Request for Appeal" form and submitting it directly to the Appeal Review Officer at the address provided on the form.

The receipt of your letter is appreciated. If you have questions, please contact Sallie D. McGuire at (602) 640-5385 x 221.

Sincerely,


for Cindy Lester P.E.
Chief, Arizona Section
Regulatory Branch

Enclosures

Copy Furnished:
(Without Enclosures)

Kristin Heiselt
Desert Cove Homes Inc.
PO Box 530691
Henderson, Nevada 89053

Basis of Jurisdictional Determination

Date of desk determination: May 16, 2005

Supporting documentation:

- Applicant's proposed jurisdictional determination
- Wetland delineation following 1987 Corps Wetland Delineation Manual
- Aerial photography interpretation
- Ground photographs/videotape of site
- Topographic map interpretation
- Review of historical records and/or aerial photography
- Comparison of previously accepted delineations of the area
- USGS map(s)
- Flow data (drainage reports, modeled flows, USGS gage data, or other sources)
- Floodplain maps
- Soil Maps
- Environmental Assessment/ Environmental Impact Statement
- National Wetland Inventory Maps
- Staff knowledge of precipitation and fluvial dynamics of the region
- Biological resource reports
- Other

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND
REQUEST FOR APPEAL**

Applicant: Desert Cove Homes Inc.	File Number: 2005-01077-SDM	Date: May 16, 2005
Attached is:		See Section below
	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
	PERMIT DENIAL	C
X	APPROVED JURISDICTIONAL DETERMINATION	D
	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION II - The following identifies your rights and options regarding an administrative appeal of the above jurisdictional determination. Additional information may be found at <http://www.usace.army.mil/mer/permissions/cw/03cvo/03cvo.html> or comptregulations@usace.army.mil.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the DISTRICT engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the DISTRICT engineer. Your objections must be received by the DISTRICT engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the DISTRICT engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the DISTRICT engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the DIVISION (not district) engineer (address on reverse). This form must be received by the DIVISION (not district) engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the DIVISION (not district) engineer (address on reverse) engineer. This form must be received by the DIVISION (not district) engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the DIVISION (not district) engineer (address on reverse) engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION 1. REQUEST FOR APPEAL OF PROFFERED PERMIT, PERMIT DENIAL, OR APPROVAL TO DIVISION ENGINEER, SUBMITTAL OF OBJECTIONS TO AN INITIAL PROFFERED PERMIT, AND NEW INFORMATION FOR APPEAL OF APPROVED JURISDICTIONAL DETERMINATION TO DISTRICT ENGINEER

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

CONTACT FOR QUESTIONS OR INFORMATION

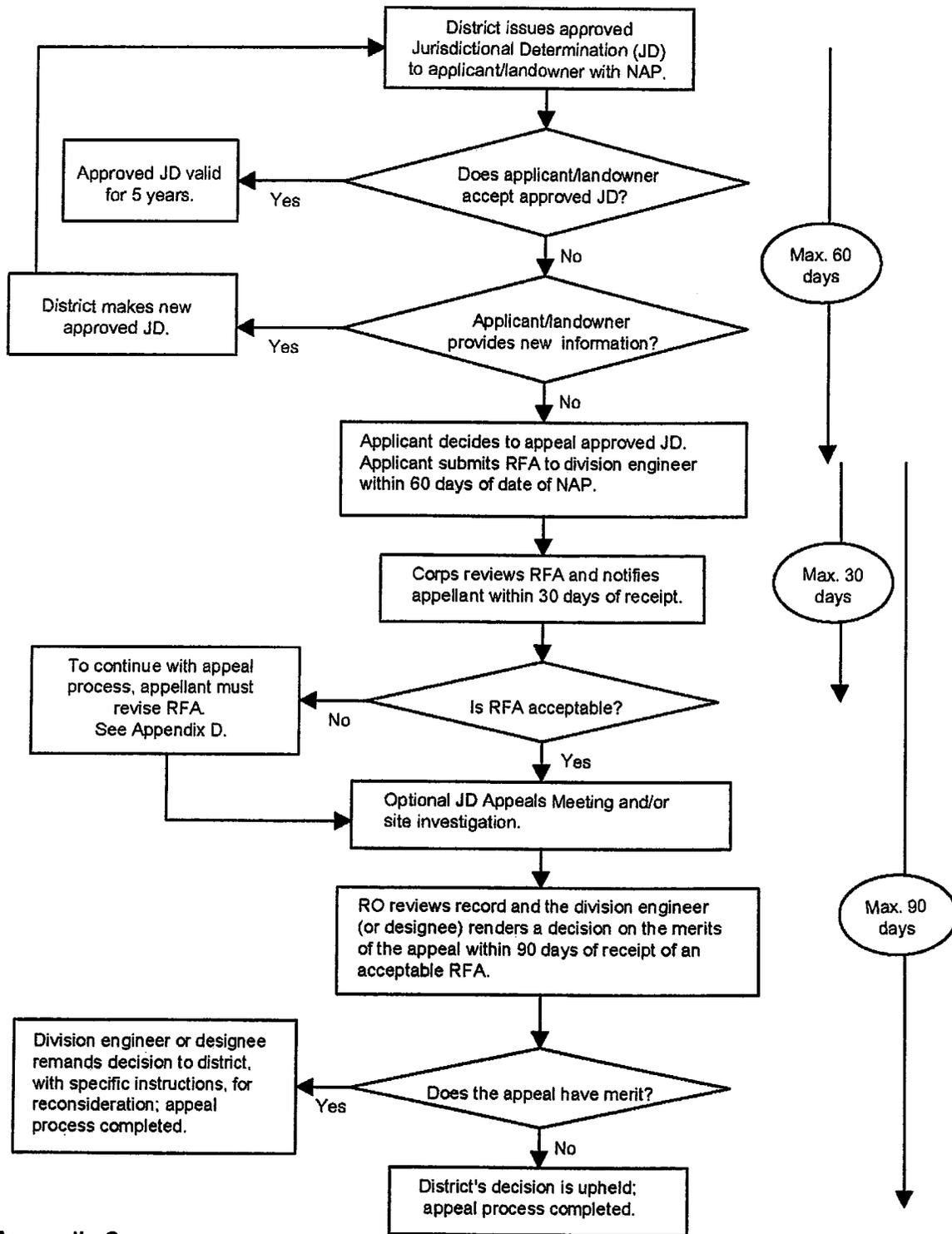
If you have questions regarding this decision and/or the appeal process you may contact:
DISTRICT ENGINEER
Los Angeles District, Corps of Engineers
Attn: Chief, Regulatory Branch
PO Box 532711 Los Angeles, CA 90053 (213-452-3425)

If you only have questions regarding the appeal process you may also contact:
DIVISION ENGINEER
Army Engineer Division, South Pacific, CESP-D-CM-O
Attn: Doug Pomeroy Administrative Appeal Review Officer
333 Market Street San Francisco, CA 94015 (415-977-8035)

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

_____ Signature of appellant or agent.	Date:	Telephone number:
---	-------	-------------------

Administrative Appeal Process for Approved Jurisdictional Determinations



Appendix C

March 17, 2005

Ms. Cindy Lester
U.S. Army Corps of Engineers
Los Angeles District
Arizona-Nevada Area Office
3636 N. Central Ave., Ste. 970
Phoenix, AZ 85012-1936

Re: USACE File No: (not assigned)
Project Name: Querencia
CMX Job No: 7073

A portion of the South Half of the Northwest Quarter of Section 4
Township 4 North, Range 1 East of the Gila and Salt River Base and
Meridian, Maricopa County, Arizona.

Dear Ms. Lester,

The undersigned, as owner of the above referenced property, hereby authorizes CMX, L.L.C. to submit an application to your office for determination of 404 Jurisdictional Waters of the United States on the subject property. We further give CMX, L.L.C. and the United States Army Corps of Engineers (USACE) personal permission to enter upon said property for inspection and review purposes in conjunction with the application for the 404 Jurisdictional Determination. We authorize the USACE to process the application for 404 Jurisdictional Determination and to issue a letter to CMX, L.L.C. outlining their findings with respect to this application. We would request that you send us a copy of the final letter at the following address:

Owner: Desert Cove Homes, Inc.

Address: PO Box 530691
Henderson, NV 89053

Phone: (702) 837-1227

Thank you for your cooperation in this matter. Please contact me if you have any questions.

Sincerely,


Kristin Heiselt
Project Manager

APPENDIX C
Peoria Unified School District Draft Contract

EXHIBIT "A"

Developer's Consideration To Be Made To The District

Project Name: Querencia Subdivision

Project Location: 57 Lots on the Lake Pleasant Parkway between Happy Valley Road and Jomax Road.

Description of Consideration:

Developer hereby agrees to payment of a contribution for capital facilities to PUSD equal to the sum of \$1,000 per house for an estimated total of 57 homes in this subdivision. The total amount of the Contribution shall be adjusted at the rate of \$1,000 per home based on the actual number of homes constructed. The Contribution shall be payable no later than at the time each house closes escrow with a third party buyer and is to be used specifically to assist the current shortfall in funding for capital facilities in the Peoria Unified School District.

Notwithstanding any obligation to the contrary, PUSD shall release Developer from the voluntary assistance payment set forth under this Agreement in the event Developer is subject to any mandatory school related municipal impact fees, excluding taxes. Developer shall, however, remain liable to PUSD for the difference between any mandatory impact fee amount and the amount due PUSD under the terms of this Agreement, should the mandatory impact fee obligation be less than the amount due herein.

DEVELOPER ASSISTANCE AGREEMENT

This Agreement is entered into on June _____, 2005, between the following parties:

PEORIA UNIFIED SCHOOL DISTRICT NO. 11
(hereafter "PUSD")
6330 West Thunderbird Road
Glendale, Arizona 85306

and

DESERT COVE HOMES SALES, LLC
(hereafter "Developer")
8638 West Briles Road
Peoria, Arizona 85383

Developer and PUSD shall be collectively referred to herein as "Parties".

I. RECITALS

- A. To improve PUSD and Developer cooperation in developing residential communities and the schools that serve those communities.
- B. To provide PUSD students with greater opportunities to learn based on enhanced resources provided by the development community.
- C. To strengthen linkages between PUSD and Developer.

II. COVENANTS

A. PUSD's Obligations:

1. PUSD would prepare an affirmative statement to the Cities of Peoria or Glendale acknowledging the Developer's assistance in the provision of resources to PUSD schools.
2. PUSD, through its Governing Board, shall approve Developer's plans and contributions to enhance the education of PUSD students.

B. Developer's Obligations:

1. Developer agrees to perform/fulfill offers of assistance, in predetermined written detail, to PUSD.
2. Developer shall pay a fee to PUSD per house or lot sold to a third-party end user.
3. To secure approval from Developer's corporation and parent corporation of

providing specific assistance to PUSD as is evidenced in writing.

4. Developer agrees to provide PUSD with adequate consideration, as defined by PUSD, in exchange for PUSD's cooperation with governmental entities and the Developer. That specific consideration is detailed in Exhibit "A" attached hereto. Under no circumstances shall this Agreement have any legal effect without the PUSD Governing Board approving the contents of Exhibit "A".
5. It is the Developer's obligation to provide PUSD with its specific and concrete details relative to consideration to be provided to PUSD in exchange for PUSD's consideration. PUSD is under no obligation to present any Agreement to its Governing Board absent a fully-executed, written Exhibit "A" attached hereto signed by the President of the Developer or another officer which has legal standing, under Arizona law, to bind the corporation, its officers, agents, principals and shareholders.

C. Default:

1. In the event PUSD defaults its performance under this Agreement, Developer shall be under no obligation to complete its obligations as discussed in Exhibit "A" attached hereto. However, the Developer cannot cease from providing its consideration absent a mutually agreed upon mediator or Arizona Superior Court determination that PUSD has breached the Agreement.
2. In the event Developer defaults its performance under this Agreement, PUSD shall be under no obligation to complete its obligations as discussed in Exhibit "A" attached hereto. However, PUSD cannot cease from providing its consideration absent a mutually agreed upon mediator or Arizona Superior Court determination that the Developer has breached the Agreement.
3. In the event the Developer breaches the Agreement, both parties agree that certain damages are due and payable to PUSD for extending the consideration it has extended under this Agreement. Those damages are as follows:
 - a. Developer shall pay PUSD \$1,000 per residential unit within the development area which is the subject of the dispute as Liquidated Damages. This amount is agreed upon because of the impracticability and extreme difficulty of ascertaining the actual damages PUSD would sustain. Developer agrees and understands that this Liquidated Damages provided are not a penalty or a forfeiture. These fixed sums have been agreed upon by Developer, in good faith, after negotiation and Developer waives any objection and challenge to the Liquidated Damage amounts based on

this good faith agreement. Said amounts may be claimed from time to time by PUSD and shall be paid by Developer.

III. TERM

This Agreement shall begin immediately upon signature by both parties and it shall terminate on completion of the Querencia subdivision or June 1, 2008, which ever occurs first, or as otherwise terminated sooner by the parties. This Agreement may be renewed by the Parties consistent with Arizona law.

IV. MISCELLANEOUS

A. Successors and Assigns:

1. The terms and conditions of this Agreement shall inure to the benefit and be binding upon the heirs, personal representatives, successors in interest, assigns, and legal representatives of each party with respect to all provisions of this Agreement. No party shall assign, sublet, transfer or convey its interest in this Agreement without the prior written consent of the other party.
2. Both parties fully represent that their signatures hereto fully bind themselves, their partners, successors, assigns, legal representatives and those other to whom the benefits of this Agreement inure, to the terms of this Agreement and that the signors hereto have the appropriate authority by and which to bind the above.

B. Extent of Agreement:

The Agreement supersedes and replaces any oral or written agreement not incorporated herein, relating to the subject matter hereof entered into by the parties prior to the date of this Agreement. This Agreement contains and sets forth the entire Agreement between the parties. No modifications, deletions or additions to this Agreement will be binding unless in writing and signed by both parties except as herein otherwise provided. The waiver of any breach of this Agreement by any party hereto shall not constitute the same continuing waiver or waiver of any subsequent breach either of the same or of another provision of the Agreement. All promises, covenants and provisions contained in this Agreement are severable, and in the event that such covenant, promise or provision is held or adjudicated invalid by a court of competent jurisdiction, the remainder of this Agreement shall be of operative and binding effect.

C. Applicable Law:

This Agreement, and the rights and duties hereunder, shall be interpreted in accordance with the internal laws of the State of Arizona without regard to conflicts of laws principles. The situs of all litigation shall be exclusively the Arizona

Superior Court in and for Maricopa County unless mutually determined otherwise in writing. By signing this Agreement, the parties acknowledge that this exclusive means of adjudication is entered into under the free will of both parties and in consideration of this Agreement.

D. Attorneys' Fees:

In the event any of the parties to this Agreement take legal action or other steps to enforce the terms of this Agreement, the parties shall bear their own attorney attorneys' fees and costs.

DATED AND SIGNED BY:

THE PEORIA UNIFIED SCHOOL DISTRICT NO. 11

Its President
On behalf of Governing Board

Date

Please print name

DESERT COVE HOMES SALES, LLC

Its: President
On behalf of Developer

7-16-05
Date

TRANSMITTAL

TO: Peoria School District No. 11
6330 W. Thunderbird Rd.
Glendale, AZ 85306

DATE: January 26, 2005

ATTN: Edward F. Sloat, Director of
Research and Planning

RE: Querencia
CMX Project No. 7073

We are transmitting the following items:

COPIES	DESCRIPTION
1	Full -Size Copy Conceptual Site Plan-Draft
1	11" X 17" Copy Conceptual Site Plan
1	Vicinity Map

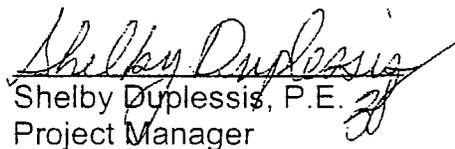
These are transmitted as checked below:

- | | |
|---|--|
| <input type="checkbox"/> As requested | <input type="checkbox"/> For your review and comment |
| <input checked="" type="checkbox"/> For your use or information | <input type="checkbox"/> For your approval (and signature) |
| <input type="checkbox"/> Please review and return by: _____ | <input type="checkbox"/> Acknowledge receipt of enclosures |

REMARKS:

Please contact me at (602) 567-1900 extension 122 if you have any questions regarding this project.

SINCERELY:

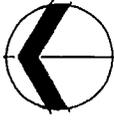

Shelby Duplessis, P.E.
Project Manager

Querencia

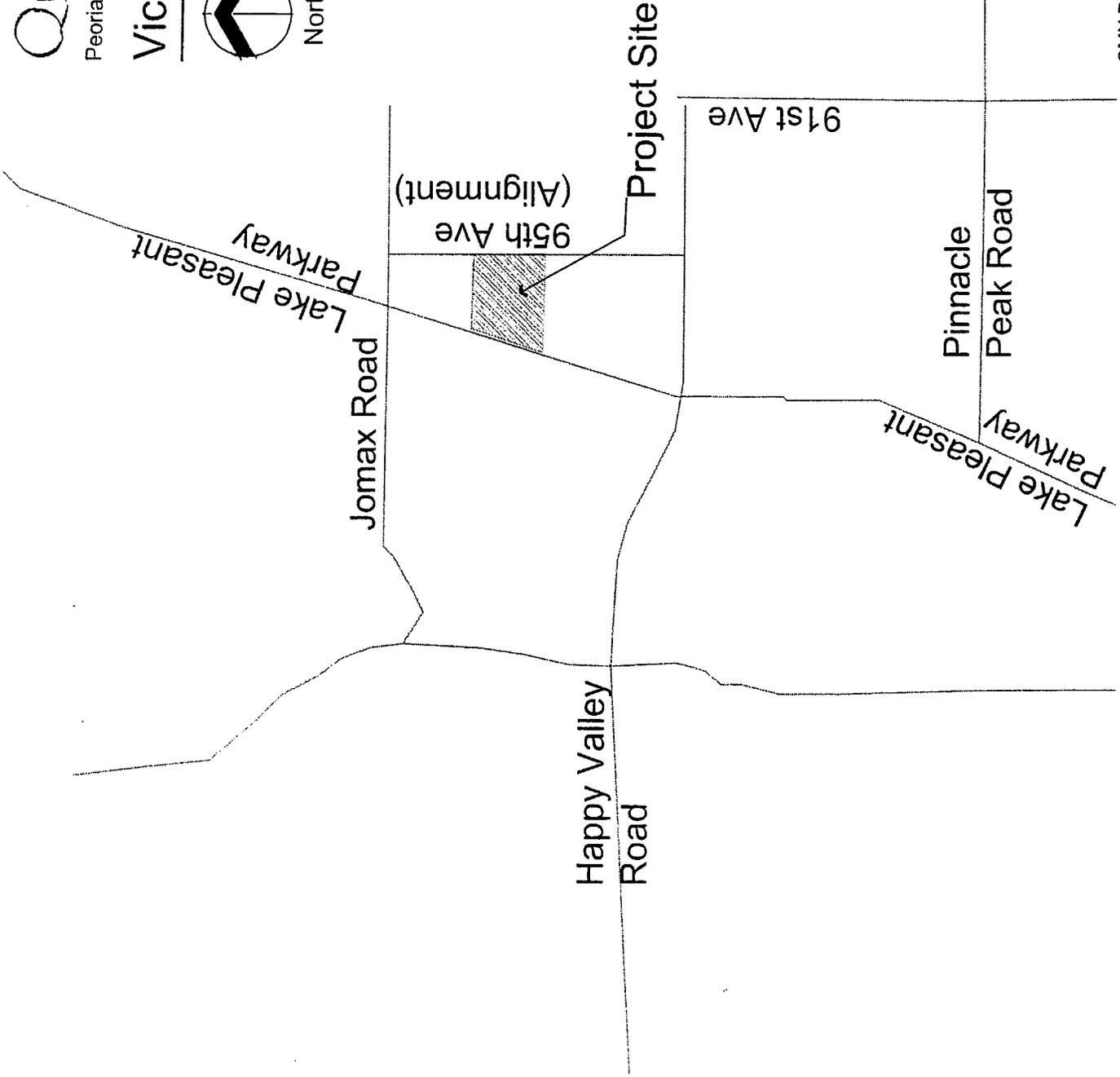
Peoria, AZ

Vicinity Map

Not to Scale



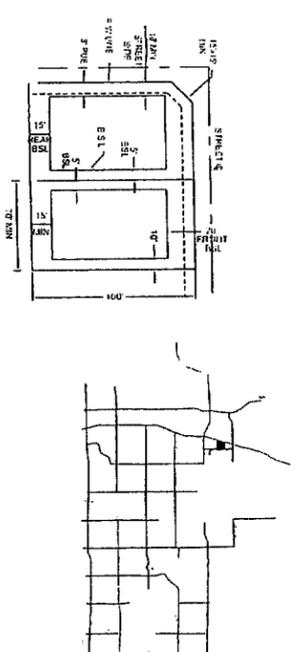
North



CMX Project Number: 7073 1/26/05

Project Manager: Shelby Duplessis
Designed By:
Drawn By:

Typical Lot Detail



Vicinity Map



Legend

- Project Boundary
- Approximate Slope Lines
- Indicates Retaining Walls
- Possible Jurisdictional
- Demarcated Wash
- Proposed Driveway Locations (2 parking stalls in driveway and 2 parking stalls inside garage)
- Paved Multi-Use Path
- Unpaved Equestrian Trail
- Proposed Pocket Park
- Natural Open Space (NOS)
- Retention Basin
- Open Space
- Revegetation Area
- Drainage Flow Arrows

Notes

Minimum Development Standards for R1-12
 The subject will have minimum lot size of twelve thousand (12,000) square feet with a minimum front lot coverage of seventy (70) feet, having a minimum front setback of twenty (20) feet, having a minimum lot area and setback of fifteen (15) feet, without less than a minimum of five (5) feet on the rear side, having a minimum rear setback of fifteen (15) feet, and having a minimum lot coverage of ten percent (10%) to be provided on the subject lot.

Site Data

North Scale: 1" = 100'
 Number of Lots: 57
 Gross Area: 44.59 ac
 Net/Gross Area: 12.8 ac
 Tract (ROW): 5.7 ac
 Open Space: 4.8 ac
 Minimum Lot Area: 12,000 SF
 Minimum Lot Size: 51.5' x 131.1'
 Lot Coverage: 35% Max
 Graded Lot Area: 18.28 ac
 Proposed: 1.3 du/ac
 Required Usable Open Space: 7.0-9.0%
 Provided Usable Open Space: 17.5%
 Required N.O.S.: 36% (Max)
 Provided N.O.S.: 23%

Site Description

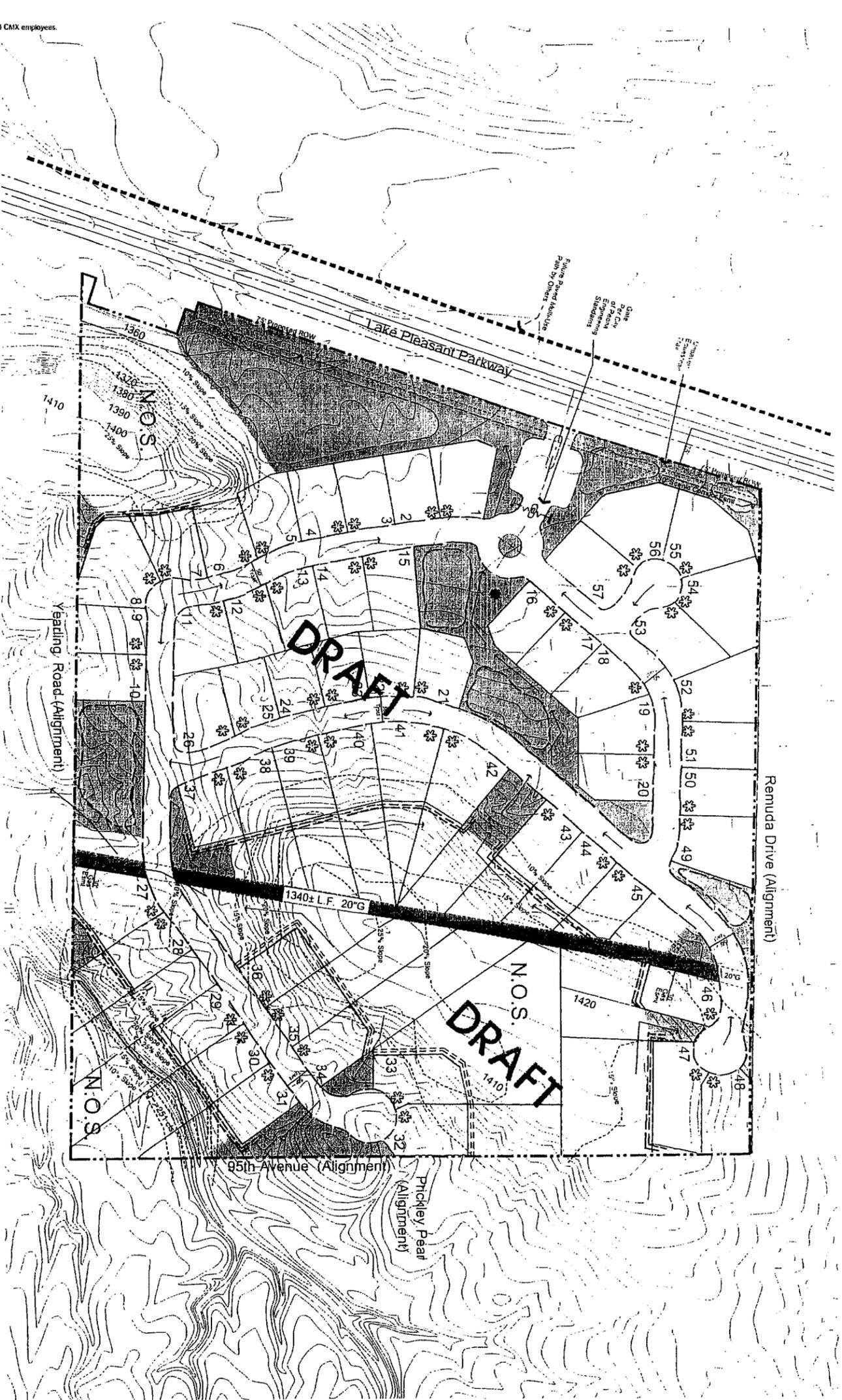
A detached single family residential development located in a portion of the South half of the Northwest Quarter of Section 4, Township 1 North, Range 1 East of the City and Still River Range and Meridian, Maricopa County, Arizona.

Development Contacts

- Owner/Developer:**
 Deer Cove Homes
 P.O. Box 330891
 Henderson, NV 89033
 Tel: 702.857.1227
- Contractor/Builder:**
 Phoenix, AZ
 QMX LLC, 18th Street Suite 100
 Phoenix, AZ 85020
 Tel: 602.557.1901
 Fax: 602.557.1901
 Sponsoring Contact: Shelby Durless
 Planning Contact: Alana Pongus
 QMX Project Number: 7073



January 2005



Lot Size Table

Lot #	Width	Depth	Area	Lot #	Width	Depth	Area
1	91.5'	173.3'	15,862 SF	31	91.5'	243.5'	22,246 SF (NOS)
2	91.5'	142.6'	12,440 SF	32	91.5'	472.5'	11,952 SF (NOS)
3	91.5'	142.8'	12,609 SF	33	91.5'	472.2'	11,834 SF (NOS)
4	91.5'	134.4'	12,298 SF	34	91.5'	472.2'	11,834 SF (NOS)
5	91.5'	139.4'	12,751 SF	35	91.5'	472.2'	11,834 SF (NOS)
6	91.5'	139.1'	12,711 SF	36	91.5'	472.2'	11,834 SF (NOS)
7	91.5'	150.2'	13,750 SF	37	91.5'	472.2'	11,834 SF (NOS)
8	91.5'	150.2'	13,750 SF	38	91.5'	472.2'	11,834 SF (NOS)
9	91.5'	134.3'	12,293 SF	39	91.5'	472.2'	11,834 SF (NOS)
10	91.5'	134.3'	12,293 SF	40	91.5'	472.2'	11,834 SF (NOS)
11	91.5'	143.8'	13,268 SF	41	91.5'	472.2'	11,834 SF (NOS)
12	91.5'	143.8'	13,268 SF	42	91.5'	472.2'	11,834 SF (NOS)
13	91.5'	143.8'	13,268 SF	43	91.5'	472.2'	11,834 SF (NOS)
14	91.5'	143.8'	13,268 SF	44	91.5'	472.2'	11,834 SF (NOS)
15	91.5'	143.8'	13,268 SF	45	91.5'	472.2'	11,834 SF (NOS)
16	91.5'	143.8'	13,268 SF	46	91.5'	472.2'	11,834 SF (NOS)
17	91.5'	143.8'	13,268 SF	47	91.5'	472.2'	11,834 SF (NOS)
18	91.5'	143.8'	13,268 SF	48	91.5'	472.2'	11,834 SF (NOS)
19	91.5'	143.8'	13,268 SF	49	91.5'	472.2'	11,834 SF (NOS)
20	91.5'	143.8'	13,268 SF	50	91.5'	472.2'	11,834 SF (NOS)
21	91.5'	143.8'	13,268 SF	51	91.5'	472.2'	11,834 SF (NOS)
22	91.5'	143.8'	13,268 SF	52	91.5'	472.2'	11,834 SF (NOS)
23	91.5'	143.8'	13,268 SF	53	91.5'	472.2'	11,834 SF (NOS)
24	91.5'	143.8'	13,268 SF	54	91.5'	472.2'	11,834 SF (NOS)
25	91.5'	143.8'	13,268 SF	55	91.5'	472.2'	11,834 SF (NOS)
26	91.5'	143.8'	13,268 SF	56	91.5'	472.2'	11,834 SF (NOS)
27	91.5'	143.8'	13,268 SF	57	91.5'	472.2'	11,834 SF (NOS)
28	91.5'	143.8'	13,268 SF	Average	91.5'	173.3'	15,862 SF
29	91.5'	143.8'	13,268 SF				
30	91.5'	143.8'	13,268 SF				
31	91.5'	143.8'	13,268 SF				
32	91.5'	143.8'	13,268 SF				
33	91.5'	143.8'	13,268 SF				
34	91.5'	143.8'	13,268 SF				
35	91.5'	143.8'	13,268 SF				
36	91.5'	143.8'	13,268 SF				
37	91.5'	143.8'	13,268 SF				
38	91.5'	143.8'	13,268 SF				
39	91.5'	143.8'	13,268 SF				
40	91.5'	143.8'	13,268 SF				
41	91.5'	143.8'	13,268 SF				
42	91.5'	143.8'	13,268 SF				
43	91.5'	143.8'	13,268 SF				
44	91.5'	143.8'	13,268 SF				
45	91.5'	143.8'	13,268 SF				
46	91.5'	143.8'	13,268 SF				
47	91.5'	143.8'	13,268 SF				
48	91.5'	143.8'	13,268 SF				
49	91.5'	143.8'	13,268 SF				
50	91.5'	143.8'	13,268 SF				
51	91.5'	143.8'	13,268 SF				
52	91.5'	143.8'	13,268 SF				
53	91.5'	143.8'	13,268 SF				
54	91.5'	143.8'	13,268 SF				
55	91.5'	143.8'	13,268 SF				
56	91.5'	143.8'	13,268 SF				
57	91.5'	143.8'	13,268 SF				

Hillside Development Table

Disposition	Shelter Range	Area (SF)	%	Max Building Area Allowed	Fracking Area (SF)	Net Building Area (SF)	Proposed Building Area (SF)
Buildings	10'-15%	182790	0.55	201184.5	14679.5	382531.1	288724.9
Habitat	15'-40%	441727	0.42	110307.2			
...	20'-25%	198471	0.40	47789.4			
...	25'-30%	44031	0.30	18269.5			

APPENDIX D
Neighborhood Meeting

May 29, 2005

City of Peoria
Attn: Louisa Garbo
Planning & Development
Fax: (623) 773-7256
Pages: 1

COPY
6/1/2005 3:27
Shelby

Re: Querencia Traffic Proposal

Ms. Garbo,

I would like to encourage the City of Peoria Planning Commission and Traffic Engineering Department to please consider allowing the Querencia development off of Lake Pleasant Boulevard, to have an alternative access into and out of the development other then only the "right in/right out" proposed. The "south 95th Avenue" alternative addition would give the development the access south to the Happy Valley Road/Parkway and Lake Pleasant Boulevard without congesting an already busy intersection with necessary U turns at Jomax Road to head south to these roadways.

Our concern in the area accessible by Jomax Road to the West of the Proposed Querencia development will be used as the available "short cut" through our neighborhood to Happy Valley Road/Parkway and Lake Pleasant Boulevard going South. The addition of the black top in our area has been a welcomed addition for dust control and would cut the dust issue with the added traffic. Please consider the width of some of these roadways restricted due to dedication issues and vegetation allowing for one-way traffic only. The integrity of the black top is another issue to address. One to two weeks of our summer heat in May has already shown waving and bunching problems as well as spots worn through to the dirt already with only neighborhood traffic in the area as Jomax Road has been closed through the winter and continues to be at this time. The City's investment of blacktop is showing signs in such a short time of not being able to handle just the "local" traffic that addition vehicles from Querencia and the cut through traffic of Ciebloa Vista will definitely be an issued for the longevity of the black top providing "dust control" and safety on the side streets, 91st and 93rd Avenues between Jomax Road & Happy Valley.

Thank you for considering the "south 95th Avenue" access to Querencia development.

Sincerely,

Ruby Schantz



City of Peoria
Community Development Department

8401 W. Monroe Street, Peoria, Arizona 85345

FAX

To:	Zulema	From:	Louisa Garbo
Fax:	602 567 1901	Pages:	(including cover)
Phone:		Date:	June 6, 2005
Re:		Phone:	623-773-7

For Review

 Please Reply

 Per Your Request

Notes:

Engineering doesn't agree to her suggestion, you need to meet Engineering's standards and it is possible that it might not satisfy the homeowner.

NEIGHBORHOOD MEETING INVITATION

Querencia



MEETING INFORMATION

Date: March 29, 2005

Time: 6:30 pm to 7:30 pm

Location: Zuni Hills Elementary
10851 W. Williams Road
Sun City, AZ 85373

Prepared by: CMX, LLC.
7740 North 16th Street, Suite 100
Phoenix, AZ 85020
602.567.1900, Ext. 122
Contact: Shelby Duplessis, P.E.

Invitees: Surrounding property owners within 300-feet, surrounding HOAs and
Other interested parties

Project Number: 7073

Subject: Planned Area Development (PAD), R1-12 Underlying District
Single-Family, Custom-Built Gated Community

Discussion Items:

1. Informal opportunity for the neighbors and stakeholders to view the REZONE Plan.
2. Introduction Project Representatives.
3. Questions and Comments from Stakeholders.
4. Response by Project Representative.
5. Meeting Adjourned.

CITIZEN NOTIFICATION LETTER



Querencia

NOTIFICATION

REQUEST: Application for rezone from Suburban Ranch SR-43 to Planned Area Development (PAD) with an underlying R1-12 Single-Family Residential District that allows a minimum of 12,000 square feet.

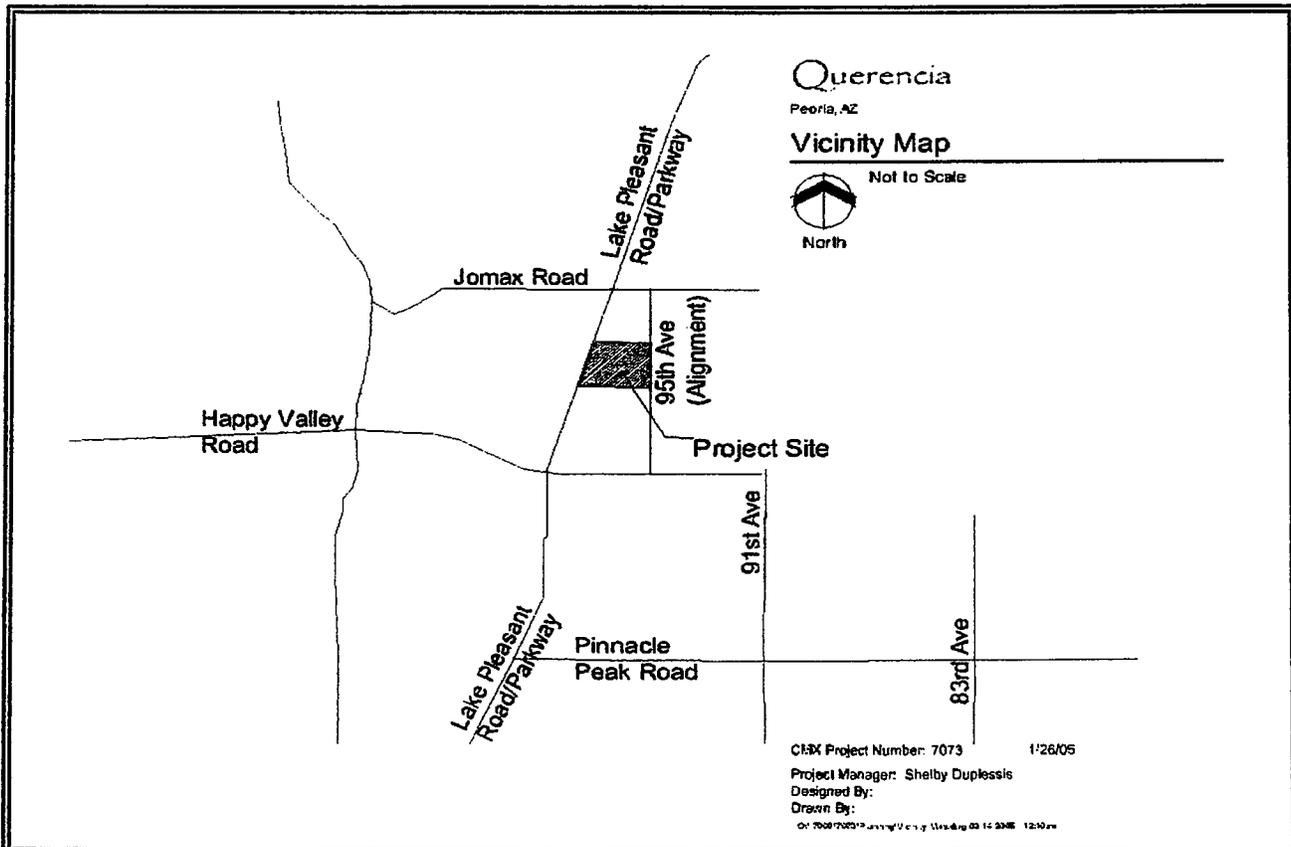
PURPOSE: The purpose of this letter is to inform you that the applicant has filed a PAD application for the parcel of land shown in the map below. This PAD application is part of the City of Peoria Planning and Development Department's requirements to rezone the property.

LOCATION: The Querencia property is located approximately ¼ mile south of the SEC of Jomax Road & Lake Pleasant Road/Parkway. The legal description includes, that Portion of the South Half of Section 4, Township 4 North, Range 1 East of the Gila and Salt River Meridian, Maricopa County, Arizona. Reference the map provided below for more details.

SIZE: Approximately 44.43 gross acres.

APPLICANT: CMX LLC, 7740 North 16th Street, Suite 100, Phoenix, AZ 85020.

CONTACTS: Shelby Duplessis, CMX Project Manager & Engineer, 602.567.1900, sduplessis@cmxinc.com., Zulema Longoria, Planner, or Penny Newton, AICP. For additional information, comments, or questions, you are encouraged to write, email, or call one of the contact persons listed above. In addition, City of Peoria process inquiries should be directed to: City of Peoria, Planning and Development Department, 411 N. Central Avenue, 3rd Floor, Phoenix, AZ. 85004-2191, Attention: Louisa Garbo



NEIGHBORHOOD MEETING COMMENT CARD

Querencia

COPY



Comments:

Interested in Development Lots 32 & 33
Requested a Site Plan mailed to
her.

Lots 32 & 33

Name Printed

NELLIE USVAT

Address

16407 N. 40th DR.

Address

Telephone Number

602 992 3114

NEIGHBORHOOD MEETING COMMENT CARD

Querencia

COPY



Comments:

Against the development, Concerned about
the traffic patterns along Lake
Pleasant Parkway. (Right-In, Right-Out)
and possibility of detouring around to
93rd Avenue.

Name Printed

Ruby & Dale Schantz

Address

9449 West Briles

Address

Peoria, AZ 85381

Telephone Number

(623) 825-7873

NEIGHBORHOOD MEETING COMMENT CARD

Querencia



Comments:

Liked the development - thought
it would add vibrant
neighborhood.

COPY

Name Printed

Bandy Shackelford

Address

Address

Telephone Number

MEETING MINUTES



Querencia

Date: March 29, 2005

Time: 6:30 pm to 7:30 pm

Location: Zuni Hills Elementary School
Multi-purpose Room
10851 W. Williams Road
Sun City, AZ 85373

Prepared by: CMX, LLC.
7740 North 16th Street, Suite 100
Phoenix, AZ 85020
602.567.1900, Ext. 122
Contact: Shelby Duplessis, P.E.

Attendees: CMX Representatives, Surrounding Property Owners within 300-feet, HOAs and other interested parties

Project Number: 7073

Subject: Planned Area Development (PAD), R1-12 Underlying District
Single-Family, Custom-Built Gated Community

Distribution: PAD Narrative Report

The following items were discussed:

Item No.	Discussion	Action Required By:
1	Question: What is the Density of the site? Answer: The General Plan designates the area as two-thirds of the property in the 0-2 du/ac and one-third in the 2-5 du/ac. The proposed density is 1.3 du/ac	
2	Question: What is the traffic pattern? Answer: Proposed as a right-in, right-out and a deceleration lane on Lake Pleasant Parkway to Jomax Road. A Traffic Study is being completed for the project as required by the City of Peoria	

3	<p>Question: What is the square footage of the homes?</p> <p>Answer: 3000 sf minimum up to 4500 sf: Desert Cove Homes sample floor plan packets were passed out</p>	
4	<p>Question: What is the plan for traffic calming along 91st Avenue?</p> <p>Answer: A recommendation that the neighbors contact the City of Peoria Engineering Department regarding the possibility of implementing traffic calming devices along 91st Avenue was made. It was also recommended that the neighbors contact the City Engineers regarding their concerns about the traffic patterns along Lake Pleasant Parkway</p>	
5		

CMX believes that the statements contained in these minutes are accurate and complete. Please call CMX if you believe there are any errors or omissions within 2 business days of receipt of the minutes. If no comments are received within 2 business days of receipt, it will be assumed that everyone agrees that these meeting minutes are accurate and represent statements of fact to which all parties agree.

END OF MINUTES



TRANSMITTAL

TO: Nellie Usvat
16407 N. 40th Drive
Peoria, AZ 85383

DATE: April 4, 2005

RE: Querencia
Neighborhood Meeting
Project No. 7073

We are transmitting the following items:

COPIES	DESCRIPTION
1	11" X 17" Copy of Aerial Photograph
1	11" X 17" Copy of Conceptual Site Plan
1	8.5" X 11" General Plan
1	11" X 17" Regional Vicinity Map
1	11" X 17" Sample Elevations

These are transmitted as checked below:

- As requested
- For your use or information
- Please review and return by: _____
- For your review and comment
- For your approval (and signature)
- Acknowledge receipt of enclosures

REMARKS:

Thank you for attending the neighborhood meeting. Per your request, I have enclosed the above referenced copies. Please call me if you have any questions at the following telephone number: (602) 567-1900 extension 146.

cc: File

SINCERELY:

Zulema Longoria
Zulema Longoria, Planner



TRANSMITTAL

TO: Terrie Putnam
9475 W Remuda Drive
Peoria, AZ 85383

DATE: April 4, 2005

RE: Querencia
Neighborhood Meeting
Project No. 7073

We are transmitting the following items:

COPIES	DESCRIPTION
1	11" X 17" Copy of Aerial Photograph
1	11" X 17" Copy of Conceptual Site Plan
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1	11" X 17" Regional Vicinity Map
1	11" X 17" Sample Elevations

These are transmitted as checked below:

- As requested
- For your use or information
- Please review and return by: _____
- For your review and comment
- For your approval (and signature)
- Acknowledge receipt of enclosures

REMARKS:

I am sorry that we were not able to attend the Neighborhood Meeting. Per your request, I have enclosed the above referenced copies. Thank you for showing your interest in the project. Please call me if you have any questions at the following telephone number: (602) 567-1900 extension 146.

cc: File

SINCERELY:

Zulema Longoria
Zulema Longoria, Planner

Querencia

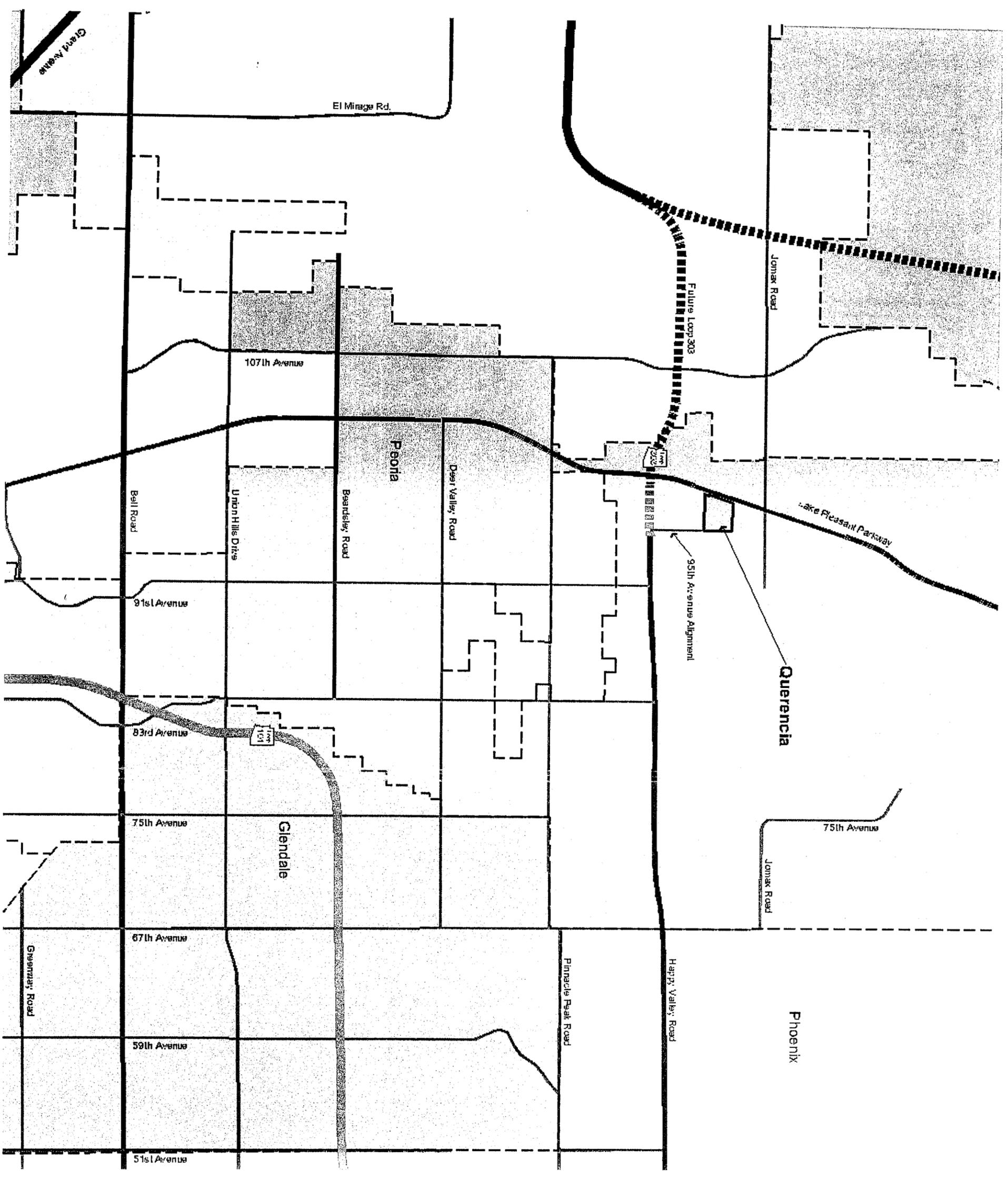
Peoria, Arizona

Regional Vicinity Map



Legend

- 1/2" ROAD
- 1" ROAD
- 1" ROAD
- 1" ROAD
- 2" ROAD



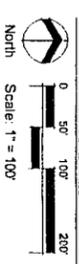
77° 3' 44" 181.51' W
 33.14' N
 Peoria, AZ 85301
 P. 602.957.1000
 F. 602.957.1001

18151 S. 7675
 2770 North Valley
 Phoenix, AZ 85026
 URBAN PLAN
 C. 8/11/11

Querencia

Peoria, Arizona

Conceptual Site Plan 11



Legend

--- Project Boundary

Site Data

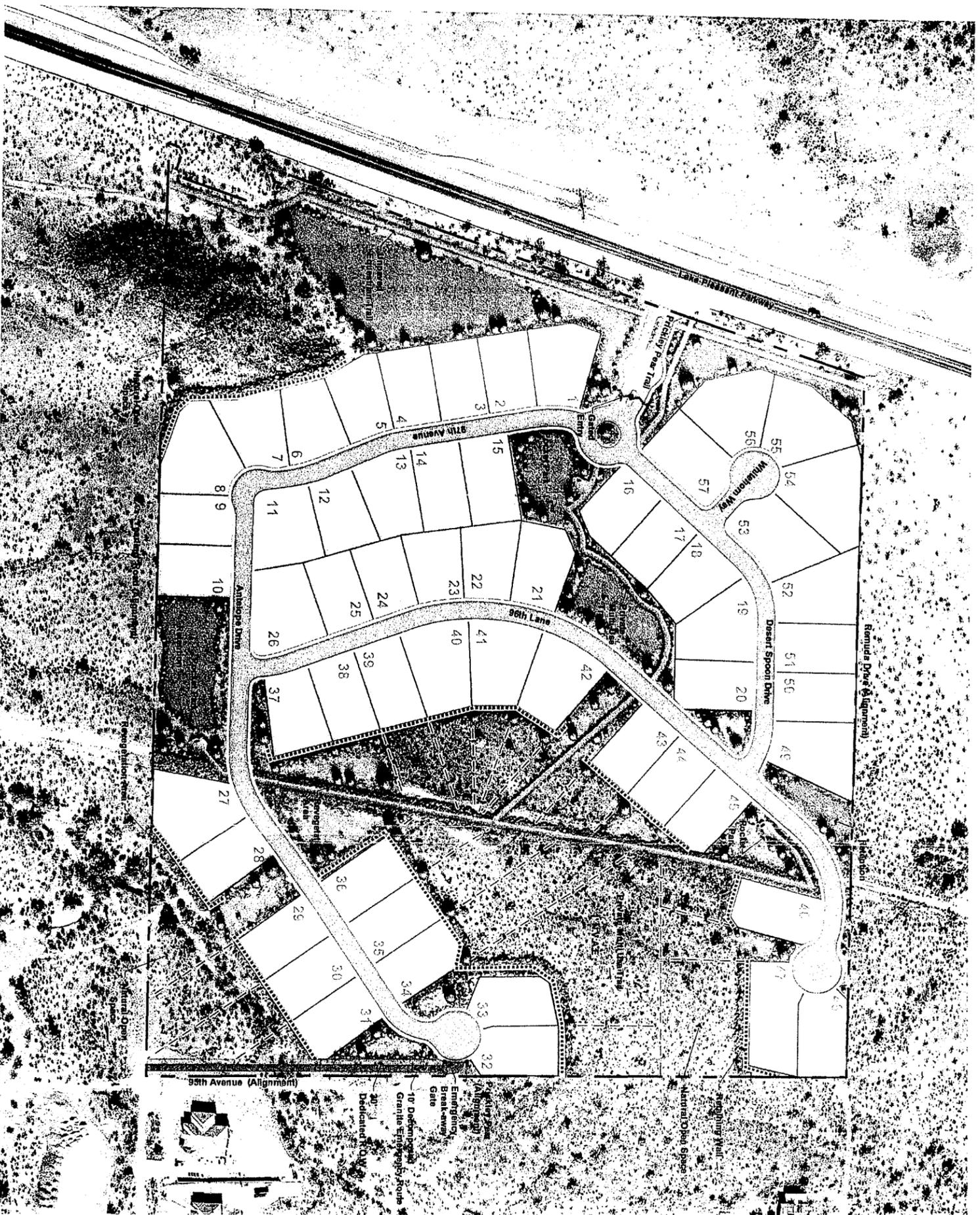
Gross Area: 44.43 acres
 N.O.S. & 13 acres
 R.O.W.: 5.56 acres
 Open Space & Retention: 9.44 acres
 Retention Only: 2.83 acres
 Net Area: 18.87 acres

Number of Lots: 57
 Gross Density: 1.3 units/ac
 Minimum Lot Area: 12,000 sq. ft.
 Minimum Lot Size: 90' x 133.3'
 Lot Coverage: 35% Max
 Max Building Height: 25' 0"

Existing Zoning: R1-43 (RHSide)
 Development Overlay District
 Proposed Zoning: R1-12 (PAD)
 N.O.S. Required: Approx. 38%
 N.O.S. Provided: Approx. 38%

Lot Size Table

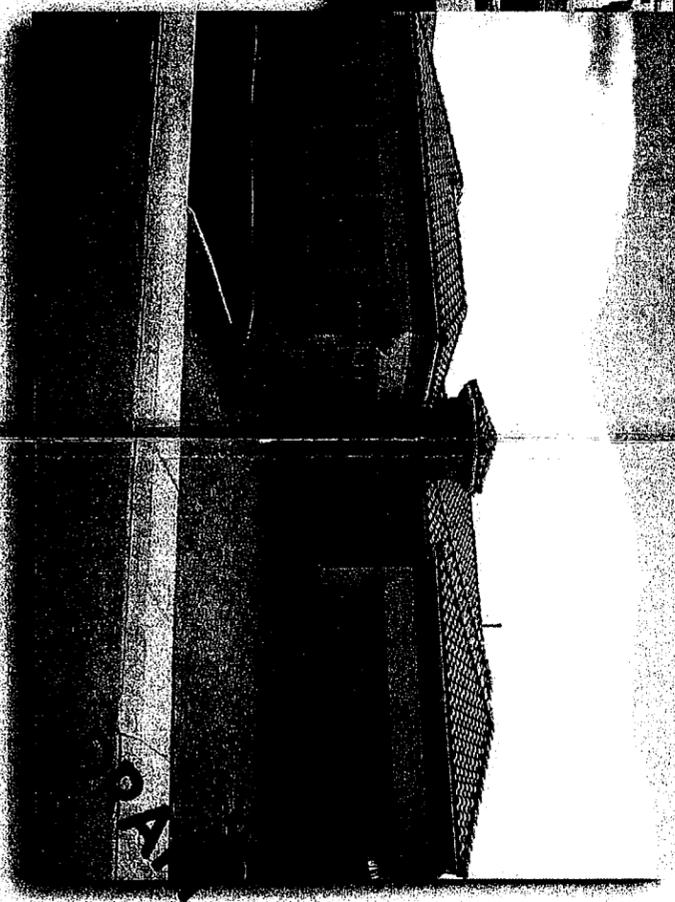
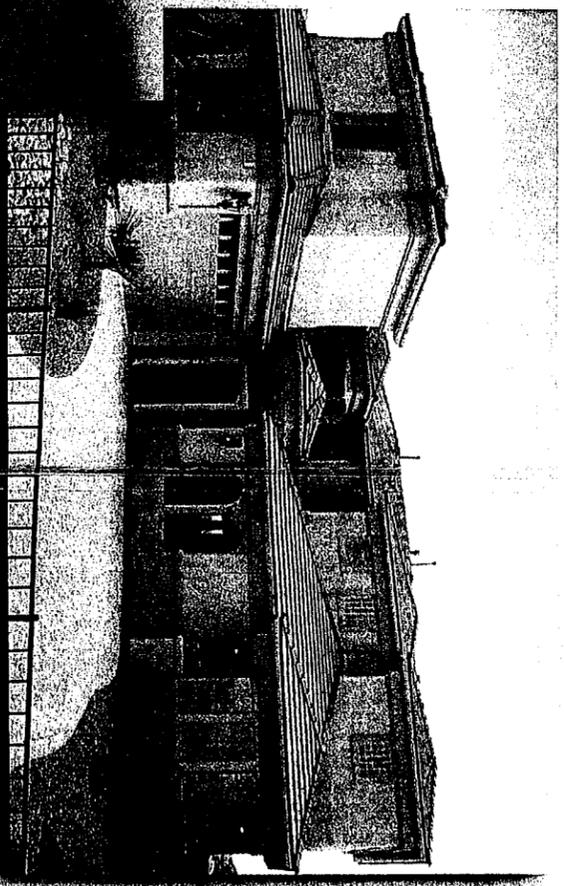
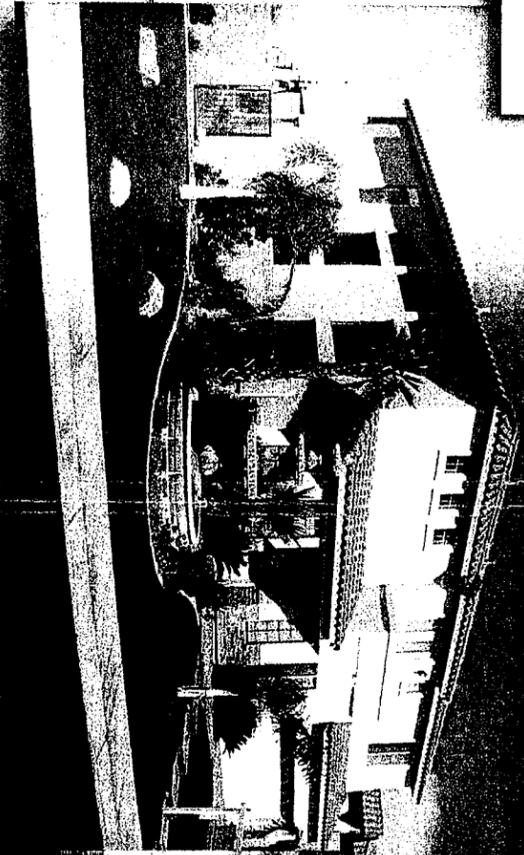
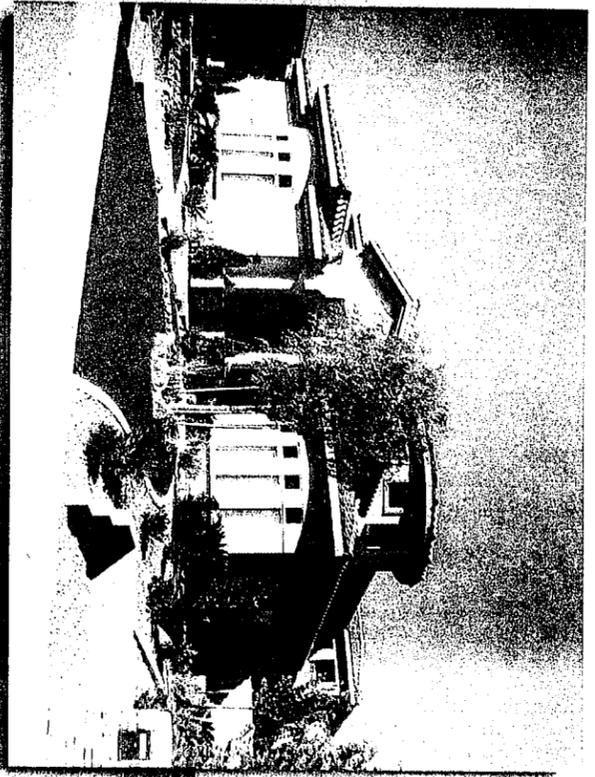
Lot #	Width	Depth	Area	Lot #	Width	Depth	Area
1	90.0	179.2	16030.0	26	90.0	147.5	13277.7
2	90.0	143.4	12918.6	30	90.0	159.2	14371.0
3	90.0	140.0	12600.0	31	90.0	156.6	14034.1
4	90.0	145.7	13114.4	32	90.0	146.1	13152.4
5	90.0	148.6	13372.1	33	90.0	149.9	13500.0
6	90.0	154.2	13878.0	34	90.0	157.7	13740.0
7	90.0	152.6	14003.6	35	90.0	175.0	15751.5
8	90.0	214.3	19280.9	36	90.0	161.5	14537.8
9	90.0	138.4	12513.0	37	90.0	156.9	14122.4
10	90.0	140.2	12613.8	38	90.0	159.1	14285.5
11	90.0	160.7	14423.3	39	90.0	172.8	15561.8
12	90.0	138.7	12492.5	40	90.0	191.8	17285.6
13	90.0	154.7	13925.4	41	90.0	187.8	16841.7
14	90.0	149.8	13478.1	42	90.0	156.6	14362.3
15	90.0	157.5	14174.7	43	90.0	148.7	13470.3
16	90.0	141.9	12789.2	44	90.0	150.3	14071.6
17	90.0	133.9	12064.5	45	90.0	180.7	16351.6
18	90.0	152.1	13684.6	46	90.0	225.6	20217.6
19	90.0	138.1	12413.6	47	90.0	153.3	13793.4
20	90.0	138.6	12474.6	48	90.0	142.8	12965.9
21	90.0	145.9	13130.2	49	90.0	183.7	16491.9
22	90.0	145.9	13130.2	50	90.0	186.9	16691.0
23	90.0	134.5	12103.8	51	90.0	212.8	20076.5
24	90.0	134.5	12103.8	52	90.0	172.8	16076.5
25	90.0	168.8	16812.1	53	90.0	187.2	16982.2
26	90.0	168.8	16812.1	54	90.0	187.2	16982.2
27	90.0	221.3	19912.7	55	90.0	187.2	16982.2
28	90.0	143.0	12870.0	56	90.0	187.2	16982.2
29	90.0	143.0	12870.0	57	90.0	187.2	16982.2
30	90.0	143.0	12870.0	Average	90.0	155.3	13932.9



7740 North 16th Street
 Suite 100
 Phoenix, AZ 85020
 P: 602.567.1900
 F: 602.567.1901

March 29, 2005
 CWP Project Number: 7073
 Project Manager: S. Duckless
 Designer: B. A. Pangue
 Drawn By: D. Durvae

Engineers
 Surveyors
 Architects
 Construction Management



DRAFT

Querencia

Sample Elevations

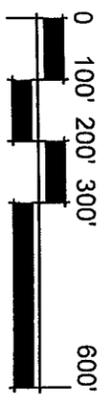


APPENDIX E
Adjacent Property Owners

Querencia

Peoria, Arizona
PAD

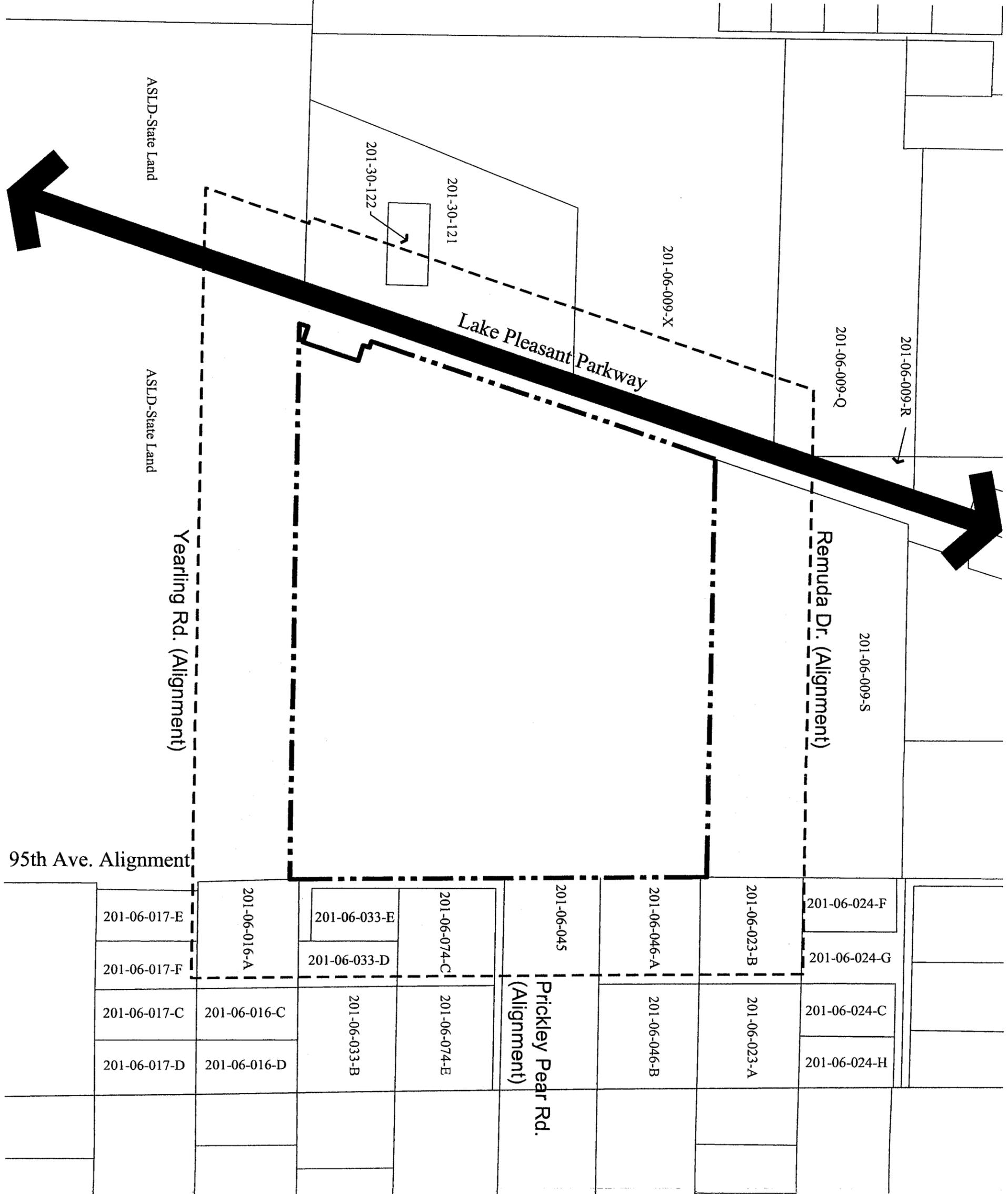
Adjacent Property Owners



Scale: 1" = 300'

Legend

-  Project Boundary
-  Parcel Boundary
-  300' Boundary



Sources

- 1) Maricopa County Assessors Website
<http://www.maricopa.gov/assessor/>
- 2) Peoria General Plan

Note: • Parcels and roadways are conceptual and subject to change through the design and development process

CMX Project #: 7073
April 2005

Project Manager: S. Duplessis Designed By: A. Pangus
Drawn By: C. Bickle / J. Newbegin
X:\7000\07073\Planning\PE-Exhibits\PAD\7073-Fig-15-Adjacent-Property-Owners.dwg 04-12-2005 - 12:22



Querencia



Property Owners within 300' of Project

Owners Name	Address	Address	Assessors Parcel #
MT BALDY LP	625 S 5TH ST #E-2	PHOENIX AZ 85004 USA	201-06-009-R
ANB PARTNERS LTD/ YAN HUNG-KONG	289 HENNESSY RD, FLAT 1, 11TH FLOOR	WANCHAI, HONG KONG	201-06-009-S
SCOTT RONALD K	6350 W WAGONER RD	GLENDALE AZ 85308	201-06-023-B
PUTNAM BRYCE	26147 N 95 AVE	PEORIA AZ 853821304	201-06-046-A
JUCU IOAN A/ MARIA	4023 W GRANDVIEW RD	PHOENIX AZ 85053 USA	201-06-045
LINDHORST TROY AJILL M	17652 N 35TH PL	PHOENIX AZ 85032 USA	201-06-074-C
CORONADO JOSEPH R/CONNIE A	7425 W MOUNTAIN VIEW	PEORIA AZ 85345 USA	201-06-033-D
PERSON SCOTT W/VIRGINIA A	9484 W YEARLING RD	PEORIA AZ 85383 USA	201-06-033-E
DOSSETT HUGH A/THERESA	8571 W CHERRY HILLS DR	PEORIA AZ 85345 USA	201-06-016-A
DISCOVERY CHURCH	7902 W UNION HILLS DR	GLENDALE AZ 85308 USA	201-30-121, 201-30-122
36 LAKE PLEASANT RD ASSOC	4835 E ONYX	PARADISE VALLEY AZ 85253	201-06-009-X
MOUNT BALDY LIMITED PARTNERSHIP	PO BOX 62618	PHOENIX AZ 850822618	201-06-009-Q
FIELD SAM T/ANITA L	9475 W BRILES RD	PEORIA AZ 85382 USA	201-06-024-F
SCHANTZ DALE R/RUBY K	9449 W BRILES RD	PEORIA AZ 85382 USA	201-06-024-G
SCHACKELFORD RANDY J/CHERYL A	10268 N 65TH AVE	GLENDALE AZ 85302 USA	201-06-024-C
MCGOUGH CAROLYN K/STEIF SHAWN	17442 N 84TH DR	PEORIA AZ 85382 USA	201-06-024-H
SCOTT RONALD K	6350 W WAGONER RD	GLENDALE AZ 85308	201-06-023-A
PRODAN MICHAEL G/LORI J TR	9449 W RAMUDA DR	PEORIA AZ 85383 USA	201-06-046-B
NICHOLS C WILLIAM/MARCILLINE J	25956 N 94TH AVE	PEORIA AZ 85382 USA	201-06-074-E
OLSON GARY R/JANE E	9420 W YEARLING RD	PEORIA AZ 853831320 USA	201-06-033-B
COOK RICHARD N TR	7321 N 21ST AVE	PHOENIX AZ 85021 USA	201-06-016-D
MOORE RUSSELL J/LUCI KAREN	6545 W NORTH LN	GLENDALE AZ 85302 USA	201-06-016-C

Querencia



Other Interested Parties

Owners Name	Address	Address	Assessors Parcel #
Louie Malloque (Arizona Department of Transportation)	205 S. 17th Ave. Mail Drop 612E	Phoenix, AZ 85007	Future Loop 303
Arizona State Land Department	1616 West Adam Street	Phoenix, AZ 85007	Attention: Gordon Taylor
Flood Control District of Maricopa County	2801 W Durango Street	Phoenix, AZ 85009	
Maricopa County Highway Dept	2901 W Durango Street	Phoenix, AZ 85009	201-08-001-A
Happy Valley 160, LLC	19820 N 7th Street, Suite 230	Phoenix, AZ 85024	201-16-007-B, 201-16-006
Brophy William Henry College, etal	4701 N Central Avenue	Phoenix, AZ 85012	201-17-002-M, 201-17-002-P
Don L. Dillie & Betty A.	18232 North 66th Avenue	Glendale, AZ 85308	201-17-019
Mount Baldy Limited Partnership	PO Box 62618	Phoenix, AZ 85082	201-30-127
Sun William/Xander P TR/Werner B/ TR, etal	7721 East Gray Road, Suite 203	Scottsdale, AZ 85260	201-30-126, 201-06-009P
Madonia Family Limited Partnership	5537 West Alameda Road	Phoenix, AZ 85310	201-30-124
City of Peoria	8401 W. Monroe Street	Peoria, AZ 85345	201-30-123, 201-06-076-B
Corporation of The Presiding Bishop	50 E North Temple Street	Salt Lake City, UT 84150	201-06-988-A
JKW Partners, LLC	3612 W Dunlap Avenuen, Suite A	Phoenix, AZ 85051	201-30-125
Lawyers Title of AZ, TR 1955	1850 N Central Avenue, Suite 1200	Phoenix, AZ 85004	201-06-091
Hancock MTH-Builders Inc., etal	8501 E Princess Drive, Suite 200	Scottsdale, AZ 85255	201-36-733
Pleasant Valley Homeowners Association, Inc.	PO Box 4171	Mesa, AZ 85211	201-36-164
Cibola Vista Resort & Spa, LLC	2525 E Arizona Biltmore Circle, Suite 118	Phoenix, AZ 85016	201-36-646
Pulte Home Corporation	15333 N Pima Road, Suite 300	Scottsdale, AZ 85260	201-39-512
Westwing Mountain Homeowners Association, Inc	850 W Elliot Road, Suite 101	Tempe, AZ 85284	201-06-757
Caldarazzo Sam J/Catherine A	PO Box 1299	Carefree, AZ 85377	201-36-658-A, 201-306-738
True Sally A	PO Box 2046	Coeur D'Alene, ID 83816	201-06-027-A
Desert Cove Homes	PO Box 530691	Henderson, NV 89053	201-06-009

APPENDIX F
Archeological Clearance Letter



SOIL SYSTEMS, INC.

1121 North 2nd Street
Phoenix, Arizona 85004
(602) 253-4938
(602) 253-0107FAX



Archaeological Consultants

March 31, 2005

Ms. Kristin Heiselt
Operations Director
Desert Cove Homes
P.O. Box 530691
Henderson, Nevada 89053

RE: Progress Report/Clearance Letter
Archaeological Testing
AZ T:7:342 (ASM)
Querencia Project
Peoria, Maricopa County, Arizona

Dear Ms. Heiselt:

Soil Systems, Inc. (SSI) has completed the archaeological testing at a small prehistoric site, AZ T:7:342 (ASM), on a 44 ac parcel of private land proposed for development and referred to as Querencia in Peoria, Maricopa County, Arizona. The fieldwork was conducted in late March 2005 by a crew of four SSI archaeologists under the direction of Brian Yunker, Project Director, and Cory Dale Breternitz, Principal Investigator. AZ T:7:342 (ASM) was identified in a survey of the property conducted by SSI in July 2004. Based on the information obtained during the survey, testing was recommended to obtain additional information to determine whether or not the site contained human remains and might be eligible to the National Register of historic Places (NRHP).

Three features were identified on the survey, a collapsed rockpile that may have been the remains of a structure, a petroglyph, and a small-mounded area. Archaeological testing included the collection of surface artifacts from eight surface collection units, the point location and collection of 12 individual surface artifacts, the hand excavation of five 1-by-1-m test units, and a hand excavated test trench across Feature 1, the collapsed rockpile (Figure 1).

Feature 1 was determined not to be a prehistoric feature. Feature 2, the petroglyph was recorded, drawn to scale, and photographed. Feature 3 was determined not to be a prehistoric feature, but rather a spoil pile from an adjacent disturbance, most likely a historic prospect pit.

The testing revealed that the site does not contain significant subsurface deposits or features and does not contain prehistoric human remains. Based on the results of the archaeological testing SSI is recommending that the site does not contain the integrity to be eligible to the NRHP. The information potential of the site has been exhausted as a result of the test excavations and no further archaeological work is recommended.

The artifacts recovered during the testing fieldwork are being processed and will be analyzed in April 2005. A final report including the results of the artifact analyses will be prepared for review by the City of Peoria in the next 30 to 45 days. This progress report serves as an interim testing report and recommendation for archaeological clearance.

An itemized invoice for the costs incurred during the archaeological testing fieldwork has been forwarded to the Desert Cove Homes office in Henderson Nevada. A final invoice will be submitted with our final report.

Please contact me directly if you have any questions regarding the status of this project or our recommendations for clearance.

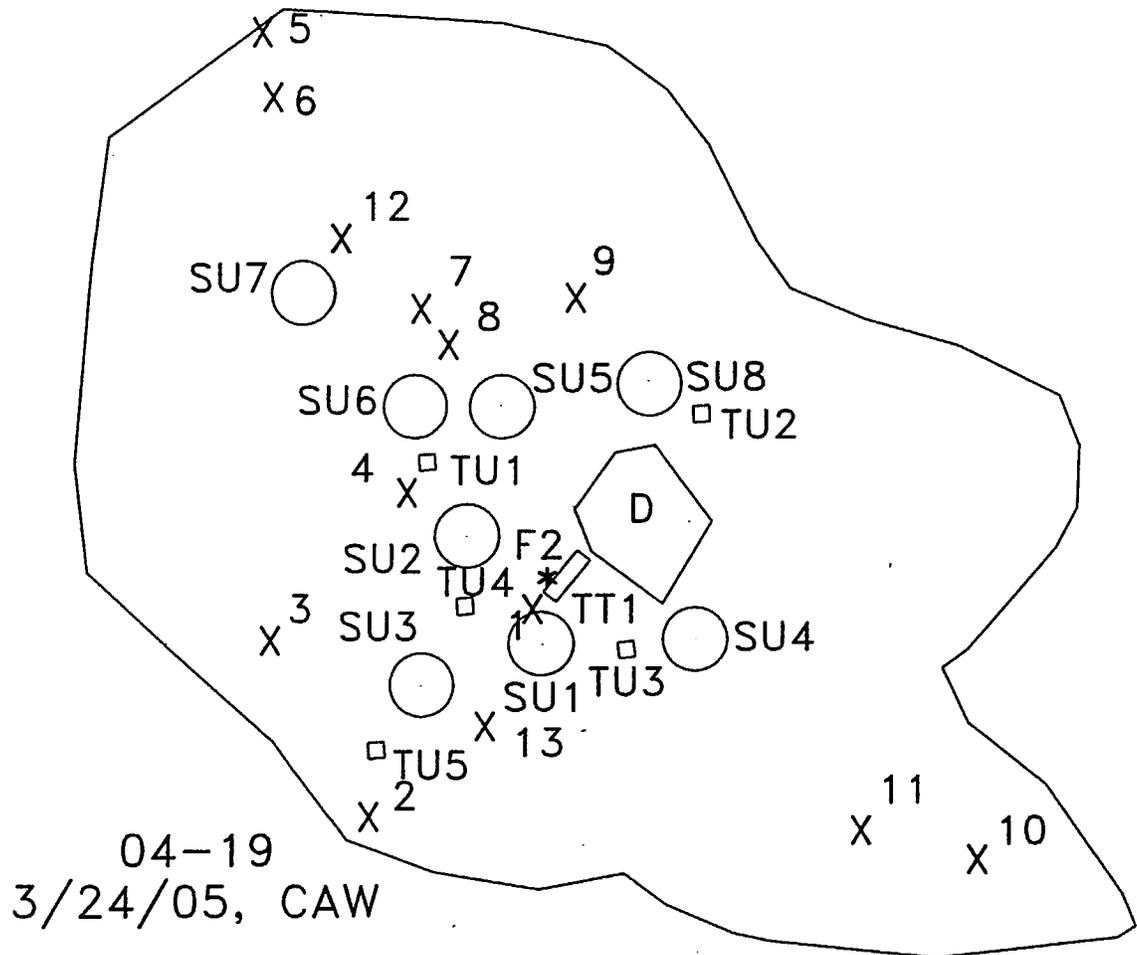
Sincerely,

SOIL SYSTEMS, INC.



Cory Dale Breternitz
President

cc: Kyle Kasey, Desert Cove Homes, w/ Invoice No. 04-1028
Shelby Duplessis, CMX L.L.C.



04-19
3/24/05, CAW

0 10
meters



- X Artifact
- D Disturbed area
- F Feature
- SU Surface collection unit
- TT Test trench
- TU Test unit

Figure 1. Draft of AZ T:7:342 (ASM) testing site map.



CMX
7740 N. 16th Street
Suite 100
Phoenix, Arizona 85020